

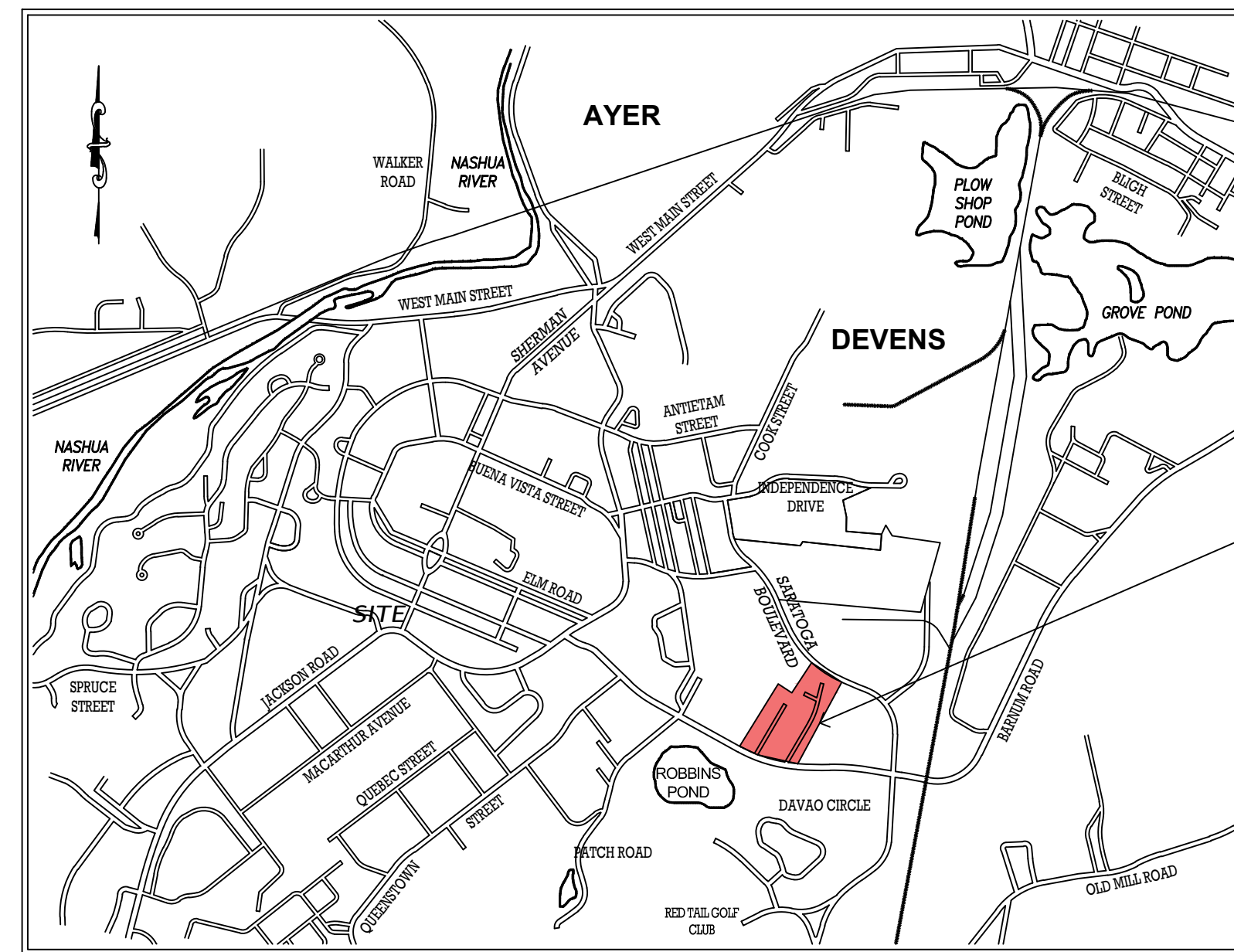
**PROJECT:** **PROPOSED BUILDING**  
**35 SARATOGA BOULEVARD**  
**DEVENS, MASSACHUSETTS**

**APPLICANT:** **35 SARATOGA PROPERTY OWNER, LLC**  
**133 PEARL STREET**  
**BOSTON, MA 02110**

**CIVIL ENGINEER:** **EUGENE T. SULLIVAN, INC.**  
**230 LOWELL STREET- SUITE 2A**  
**WILMINGTON, MASSACHUSETTS**

**LAND SURVEYOR:** **DANA F. PERKINS INC.**  
**1057 EAST STREET**  
**TEWKSBURY, MASSACHUSETTS**

**LANDSCAPE ARCHITECT:** **JAMES K. EMMANUEL ASSOCIATES**  
**22 CARLTON ROAD**  
**MARBLEHEAD, MASSACHUSETTS**



**35 SARATOGA BOULEVARD SITE**

**LOCUS PLAN**

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL NOTIFY "DIG-SAFE" [ 888.344.7233 ] AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
2. THE UNDERGROUND UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED BY FIELD SURVEY AND EXISTING DRAWINGS. THIS ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN USE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
3. THESE SITE PLANS ARE BASED UPON AN ON-THE-GROUND TOPOGRAPHICAL SURVEY. NO ATTEMPT WAS MADE IN PREPARING THESE PLANS TO ASCERTAIN THE LOCATION OF NON-VISUALLY APPARENT SUBSURFACE UTILITIES AND STRUCTURES OR CONDITIONS.
4. THESE PLANS HAVE BEEN PREPARED FOR THIS CLIENT AND THIS PROJECT. REPRODUCTION IN WHOLE OR IN PART FOR OTHER PURPOSES IS STRICTLY PROHIBITED.
5. THESE DRAWINGS SHALL NOT BE SCALED. IF CLARIFICATION OF INTENT IS REQUIRED, THE CONTRACTOR SHALL REQUEST CLARIFICATION PRIOR TO CONTINUING HIS WORK.
6. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO INITIATION OF THE WORK AND SHALL NOTIFY THE CIVIL ENGINEER OF RECORD AND THE OWNER OF ANY DISCREPANCIES WITH THE SITE CONDITIONS OR PROPOSED CONSTRUCTION IMMEDIATELY UPON DISCOVERY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING PROPOSED CONSTRUCTION WITH EXISTING CONDITIONS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND LICENSES.
9. ALL WORK SHALL CONFORM TO ALL LOCAL AND STATE REGULATORY AGENCIES AND UTILITY REQUIREMENTS.
10. UPON ENTERING THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL, DEWATERING AND SHALL UNDERTAKE ALL MEASURES TO PROTECT WETLANDS, THE DRAINAGE SYSTEMS, ADJACENT PROPERTIES AND STREETS FROM SILTATION, STORMWATER RUNOFF, AND DUST DURING THE ENTIRE PROJECT DURATION.
11. THE LIMIT OF WORK SHALL BE AS DESIGNATED ON THESE PLANS, AND/OR THE EDGE OF PROPOSED GRADING AND/OR THE PROPERTY LINES IF NOT INDICATED OTHERWISE.
12. THE CONTRACTOR SHALL CLEARLY MARK THE LIMITS OF WORK PRIOR TO THE START OF CONSTRUCTION.
13. MATERIALS IMPORTED TO THE SITE SHALL BE FREE OF HAZARDOUS WASTE AND NOXIOUS MATERIALS, STORED AS DESIGNATED AND SHALL NOT HAMPER THE SITE ACTIVITIES.
14. ALL NECESSARY POLICE DETAILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE DETAILS WITH THE LOCAL POLICE DEPARTMENT.
15. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES IN WORKING ORDER AND FREE FROM DAMAGE DURING THE ENTIRE DURATION OF THE PROJECT. ALL COSTS RELATED TO THE REPAIR OF DAMAGED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION AT NO ADDITIONAL COSTS TO THE OWNER.
16. THE CONTRACTOR SHALL UTILIZE ALL PRECAUTIONS AND MEASURES NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC, ALL PERSONNEL AND PROPERTY DURING CONSTRUCTION IN ACCORDANCE WITH OSHA STANDARDS, INCLUDING BARRICADES, SAFETY LIGHTING, CONES, POLICE DETAILS, AND/OR FLAGMEN AS NECESSARY.
17. ALL TRENCHING WORK WITHIN A ROADWAY SHALL BE COORDINATED WITH THE PROPER LOCAL AND/OR STATE AGENCY. TRENCH SAFETY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR DOING THE TRENCH WORK, INCLUDING ANY LOCAL AND/OR STATE PERMITS REQUIRED FOR THE TRENCHWORK.
18. ALL TRENCHWORK WITHIN EXISTING PAVEMENT SHALL BE SAWCUT PER THE APPLICABLE DETAILS. TRENCHWORK BACKFILL AND COMPACTION SHALL HAVE MAXIMUM 8" LIFTS. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE PATCH AND REPAVE AFTER ONE COMPLETE 12-MONTH CYCLE IF SETTLEMENT OCCURS DUE TO INADEQUATE COMPACTION.
19. SITE LAYOUT SURVEY REQUIRED FOR CONSTRUCTION WILL BE PROVIDED BY THE CONTRACTOR AND SHALL BE CONDUCTED BY A MASSACHUSETTS REGISTERED PROFESSIONAL LAND SURVEYOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS DURING CONSTRUCTION.
20. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS REGARDING NOISE, VIBRATION, DUST, SEDIMENTATION CONTAINMENT, TRENCHWORK AND ROADWAY WORK.
21. SOLID WASTES SHALL BE COLLECTED AND STORED IN A SECURED DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
22. THE CONTRACTOR SHALL RESTORE ALL SURFACES EQUAL TO THEIR ORIGINAL CONDITION AFTER CONSTRUCTION IS COMPLETE. AREAS NOT DISTURBED BY CONSTRUCTION SHALL BE LEFT NATURAL. THE CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO SHRUBS, TREES AND OTHER LANDSCAPING AND/OR NATURAL FEATURES.
23. LEDGE OR BOULDER EXCAVATION IS ANTICIPATED FOR THIS SITE. THE CONTRACTOR SHALL PROVIDE A UNIT COST PER CUBIC YARD FOR LEDGE AND/OR BOULDER REMOVAL. LEDGE AND/OR BOULDERS LESS THAN ONE CUBIC YARD IN SIZE WILL NOT BE CONSIDERED PAYABLE ROCK.

**DEVENS UXO PROTOCOL AND SOILS POLICY:**

1. THIS PROPERTY IS SUBJECT TO THE DEVENS UXO PROTOCOL AND PROCEDURES:
  - 1.1. WHEREAS DEVENS IS A FORMER ACTIVE MILITARY INSTALLATION, IT IS POSSIBLE THAT UNEXPLODED ORDNANCE ("UXO") AND/OR MUNITIONS OF EXPLOSIVE CONCERN ("MEC") MAY EXIST AND/OR BE ENCOUNTERED AT DEVENS. PRIOR TO PERFORMING ANY INTRUSIVE SOIL WORK, ALL PERSONNEL ONSITE MUST VIEW A UXO/MEC INSTRUCTIONAL VIDEO BRIEFING INTENDED TO INSTRUCT ONSITE PERSONNEL AS TO HOW TO VISUALLY RECOGNIZE UNEXPLODED ORDNANCE ("UXO") AND/OR MUNITIONS OF EXPLOSIVE CONCERN ("MEC") WHICH COULD BE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES AND PROVIDING INSTRUCTION OF THE PROCEDURES TO BE FOLLOWED IF A POTENTIAL UXO/MEC IS ENCOUNTERED. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING VIEWING OF THE VIDEO BY ALL PERSONNEL (BOTH CONTRACTOR AND SUBCONTRACTORS) WHO WILL BE EXCAVATING (EITHER BY MACHINE OR HAND TOOLS), WILL BE WORKING WITHIN AN EXCAVATED AREA OR WHO WILL BE OVERSEEING OR SUPERVISING EITHER. ARRANGEMENTS CAN BE MADE FOR VIEWING OF THE INSTRUCTIONAL VIDEO BY CONTACTING THE DEVENS FIRE DEPARTMENT [ 978.772.4600 ] LOCATED AT 182 JACKSON ROAD, DEVENS, MA. CONTACT FIRE DEPARTMENT TO SCHEDULE THE VIEWING TO AVOID ANY DELAYS IN THE CONTRACTOR'S PROPOSED CONSTRUCTION SCHEDULE.
  - 1.2. IF AN ORDNANCE IS FOUND OR SUSPECTED, THE CONTRACTOR SHALL FOLLOW THE FOLLOWING PROCEDURES:
    - DO NOT TOUCH
    - STOP ALL OPERATIONS IN THE AREA OF THE ITEM
    - SHUT OFF ALL EQUIPMENT IN THE AREA OF THE ITEM
    - EVACUATE THE AREA
    - CALL DEVENS DISPATCH AT 978.772.7200
  - 1.3. DISPATCH WILL NOTIFY THE APPROPRIATE EMERGENCY AND PUBLIC SAFETY PERSONNEL INCLUDING NOTIFICATION OF THE ARMY UXO RESPONSE COORDINATOR.
  - 1.4. STATE POLICE, IN CONJUNCTION WITH THE DEVENS FIRE CHIEF AND THE US ARMY WILL DETERMINE THE COURSE OF ACTION TO BE FOLLOWED REGARDING THE RELOCATING, REMOVING, AND/OR DESTROYING OF FOUND UXO UPON FURTHER INVESTIGATION OF THE ITEM.
  - 1.5. THE CONTRACTOR WILL BE NOTIFIED WHEN PERSONNEL CAN RETURN TO THE AREA AND/OR WHEN AND WHERE OPERATION OF EQUIPMENT CAN RESUME.
2. NO SOILS ARE TO LEAVE THE SITE AS PART OF THIS PROJECT CONSISTENT WITH THE DEVENS SOIL MANAGEMENT POLICY. IF SOILS MUST BE REMOVED FROM THE SITE THEN PRIOR TO REMOVING ANY SOILS OFF-SITE (WHETHER IN DEVENS OR OUTSIDE OF DEVENS) THE APPLICANT/OWNER MUST CONSULT AND COORDINATE WITH THE DEVENS ENVIRONMENTAL MANAGER AND MASS DEP. THE PROTOCOL FOR REMOVAL IS AS FOLLOWS:
 

[https://www.devsmec.com/development/Devens\\_Soil\\_Mgmt\\_and\\_UXO\\_Policies\\_and\\_Procedures.pdf](https://www.devsmec.com/development/Devens_Soil_Mgmt_and_UXO_Policies_and_Procedures.pdf)



**DRAWING INDEX:**

**APRIL 20, 2022**

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C.2	SITE LAYOUT PLAN	4/20/22
C.3	DRAINAGE AND UTILITIES	4/20/22
C.4.1	CONSTRUCTION DETAILS	4/20/22
C.4.2	CONSTRUCTION DETAILS	4/20/22
SL-1	SITE LIGHTING PLAN	4/20/22
L.1	LANDSCAPE PLAN	4/20/22
A.1	BUILDING ELEVATIONS	4/20/22

APPROVED BY THE  
 DEVENS ENTERPRISE  
 COMMISSION:

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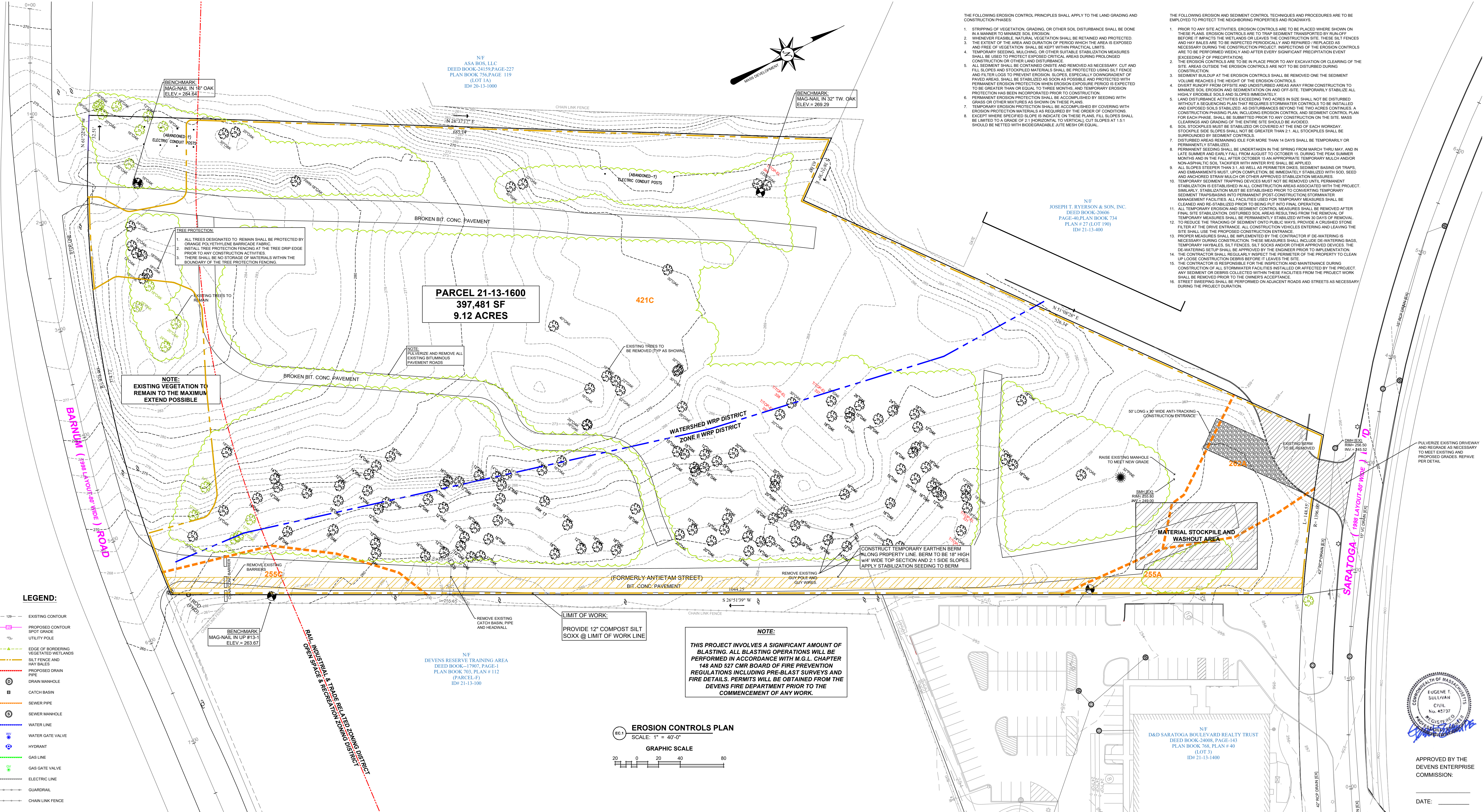
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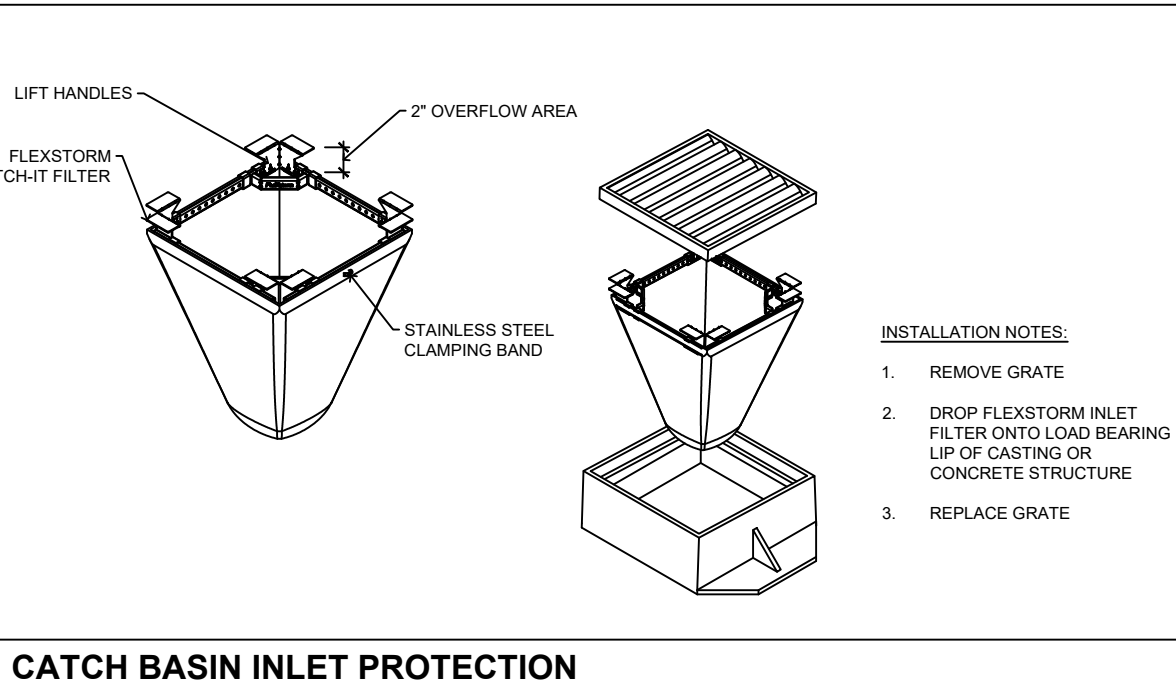
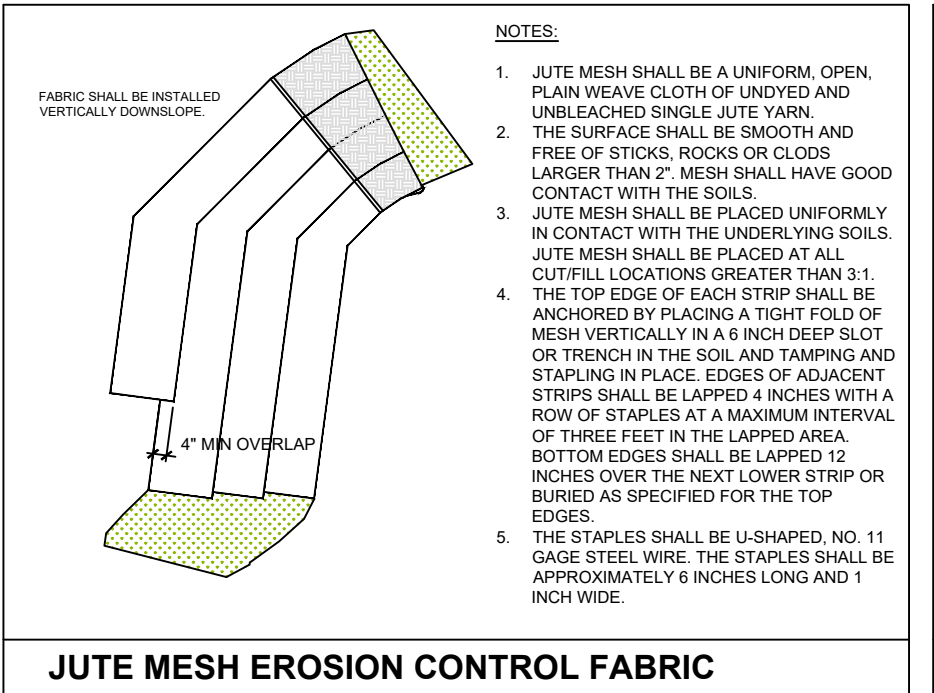
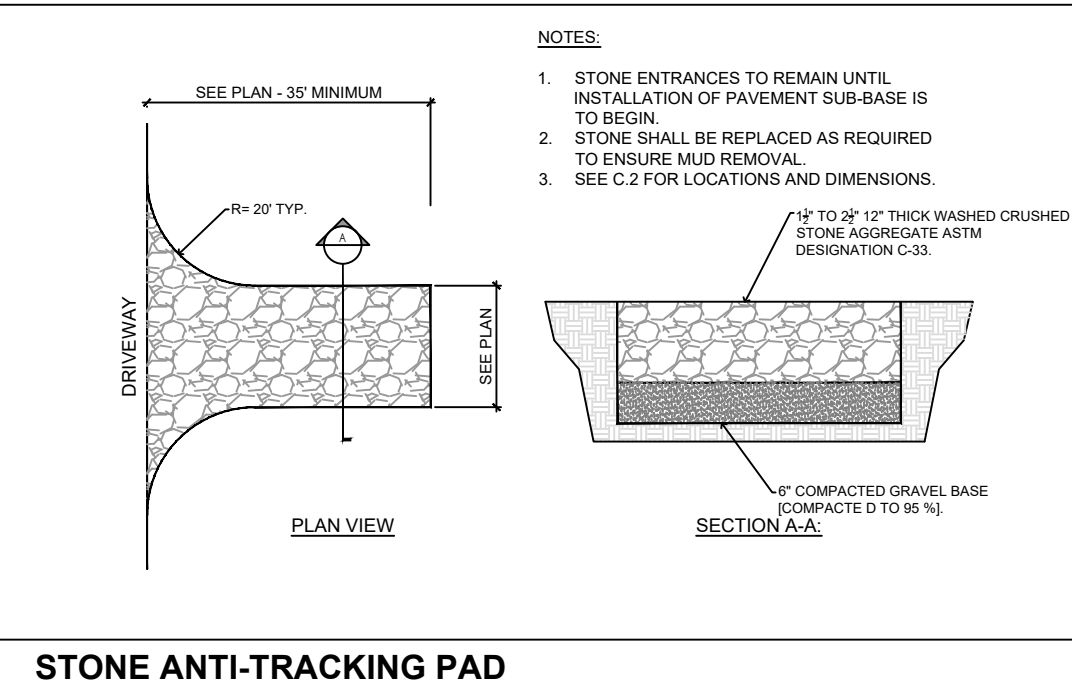
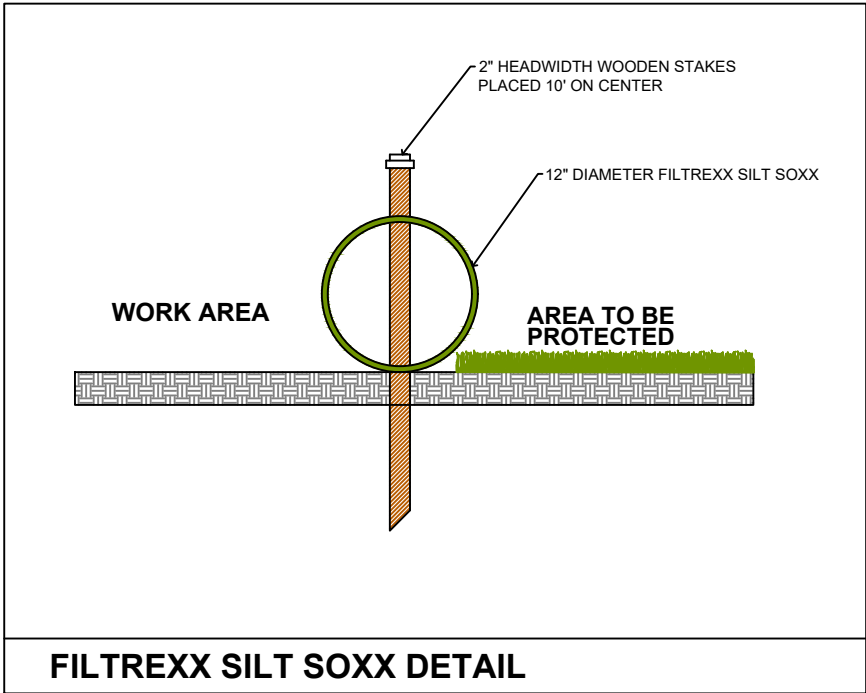
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- THE FOLLOWING EROSION CONTROL PRINCIPLES SHALL APPLY TO THE LAND GRADING AND CONSTRUCTION PHASES:
1. STRIPPING OF VEGETATION, GRADING, OR OTHER SOIL DISTURBANCE SHALL BE DONE IN A MANNER TO MINIMIZE SOIL EROSION.
  2. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. THE EXTENT OF THE AREA AND DURATION OF PERIOD WHICH THE AREA IS EXPOSED AND FREE OF VEGETATION SHALL BE KEPT WITHIN PRACTICAL LIMITS.
  3. TEMPORARY SEEDING, MULCHING, OR OTHER SUITABLE STABILIZATION MEASURES SHALL BE USED TO PROTECT EXPOSED CRITICAL AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE.
  4. ALL SEDIMENT SHALL BE CONTAINED ON-SITE AND REMOVED AS NECESSARY. CUT AND FILL SLOPES AND STOCKPILE MATERIALS SHALL BE PROTECTED USING SILT FENCE AND FILTER LOGS TO PREVENT EROSION. SLOPES, ESPECIALLY DOWNGRADIENT OF PAVED AREAS, SHALL BE STABILIZED AS SOON AS POSSIBLE AND PROTECTED WITH PERMANENT EROSION PROTECTION WHEN EROSION EXPOSURE PERIODS ARE EXPECTED TO BE GREATER THAN OR EQUAL TO THREE MONTHS. TEMPORARY EROSION PROTECTION HAS BEEN INCORPORATED PRIOR TO CONSTRUCTION.
  5. TEMPORARY EROSION PROTECTION SHALL BE ACCOMPLISHED BY SEEDING WITH GRASS OR OTHER MIXTURES AS SHOWN ON THESE PLANS.
  6. PERMANENT EROSION PROTECTION SHALL BE REQUIRED UNTIL PERMANENT EROSION PROTECTION MATERIALS AS REQUIRED BY THE ORDER OF CONDITIONS.
  7. EXCEPT WHERE SPECIFIED SLOPE IS INDICATED ON THESE PLANS, FILL SLOPES SHALL BE LIMITED TO A GRADE OF 2:1 (HORIZONTAL TO VERTICAL). CUT SLOPES AT 1.5:1 SHOULD BE NETTED WITH BIODEGRADABLE JUTE MESH OR EQUAL.

- THE FOLLOWING EROSION AND SEDIMENT CONTROL TECHNIQUES AND PROCEDURES ARE TO BE EMPLOYED TO PROTECT THE NEIGHBORING PROPERTIES AND ROADWAYS:
1. PRIOR TO ANY SITE ACTIVITIES, EROSION CONTROLS ARE TO BE PLACED WHERE SHOWN ON THESE PLANS. EROSION CONTROLS ARE TO TRAP SEDIMENT TRANSPORTED BY RUN-OFF BEFORE IT IMPACTS THE WETLANDS OR LEAVES THE CONSTRUCTION SITE. THESE SILT FENCES AND HAY BALES ARE TO BE INSPECTED PERIODICALLY AND REPAIRED/REPLACED AS NECESSARY DURING THE CONSTRUCTION PROJECT. INSPECTIONS OF THE EROSION CONTROLS ARE TO BE PERFORMED WEEKLY AND AFTER EVERY SIGNIFICANT PRECIPITATION EVENT (EXCEEDING 1" OF PRECIPITATION).
  2. THE EROSION CONTROLS ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CLEARING OF THE SITE. AREAS OUTSIDE THE EROSION CONTROLS ARE NOT TO BE DISTURBED DURING CONSTRUCTION.
  3. SEDIMENT BULKUPS AT THE EROSION CONTROLS SHALL BE REMOVED ONE THE SEDIMENT VOLUME REACHES 1/2 THE HEIGHT OF THE EROSION CONTROLS.
  4. DIVERT RUNOFF FROM OFF-SITE AND UNDISTURBED AREAS AWAY FROM CONSTRUCTION TO MINIMIZE SOIL EROSION AND SEDIMENT ON AND OFF-SITE. TEMPORARILY STABILIZE ALL HIGHLY ERODIBLE SOILS AND SLOPES IMMEDIATELY.
  5. LAND DISTURBANCE ACTIVITIES EXCEEDING TWO ACRES IN SIZE SHALL NOT BE DISTURBED WITHOUT A SEQUENCING PLAN THAT REQUIRES STORMWATER CONTROLS TO BE INSTALLED AND EXPOSED SOILS STABILIZED. AS DISTURBANCES BEYOND THE TWO ACRES CONTINUE, A CONSTRUCTION PHASING PLAN, INCLUDING EROSION CONTROL AND SEDIMENT CONTROL PLAN FOR EACH PHASE, SHALL BE SUBMITTED PRIOR TO ANY CONSTRUCTION ON THE SITE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHOULD BE AVOIDED.
  6. SOIL STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
  7. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED.
  8. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15 AN APPROPRIATE TEMPORARY MULCH AND/OR NON-SALINIC SOIL TACKIFIER WITH WINTER TIE SHALL BE APPLIED.
  9. ALL SLOPES STEEPER THAN 3:1, AS WELL AS PERIMETER DICES, SEDIMENT BASINS OR TRAPS, AND EMBANKMENTS MUST, UPON COMPLETION, BE IMMEDIATELY STABILIZED WITH SOIL SEED AND ANCHORED STRAW MULCH OR OTHER APPROVED STABILIZATION MEASURES.
  10. TEMPORARY SEDIMENT TRAPPING DEVICES MUST NOT BE REBORDED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONSTRUCTION AREAS ASSOCIATED WITH THE PROJECT. SIMILARLY, STABILIZATION MUST BE ESTABLISHED PRIOR TO CONVERTING TEMPORARY SEDIMENT TRAP BASINS INTO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED FOR TEMPORARY MEASURES SHALL BE CLEANED AND RE-STABILIZED PRIOR TO BEING PUT INTO FINAL OPERATION.
  11. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL TO REDUCE THE TRACKING OF SEDIMENT ONTO PUBLIC WAYS. PROVIDE A CRUSHED STONE FILTER AT THE DRIVE ENTRANCE. ALL CONSTRUCTION VEHICLES ENTERING AND LEAVING THE SITE SHALL USE THE PROPOSED CONSTRUCTION ENTRANCE.
  12. TEMPORARY SEEDING TRAPPING DEVICES MUST NOT BE REBORDED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONSTRUCTION AREAS ASSOCIATED WITH THE PROJECT. SIMILARLY, STABILIZATION MUST BE ESTABLISHED PRIOR TO CONVERTING TEMPORARY SEDIMENT TRAP BASINS INTO PERMANENT POST-CONSTRUCTION STORMWATER MANAGEMENT FACILITIES. ALL FACILITIES USED FOR TEMPORARY MEASURES SHALL BE CLEANED AND RE-STABILIZED PRIOR TO BEING PUT INTO FINAL OPERATION.
  13. PROPER MEASURES SHALL BE IMPLEMENTED BY THE CONTRACTOR IF DE-WATERING IS NECESSARY DURING CONSTRUCTION. THESE MEASURES SHALL INCLUDE DE-WATERING BAGS, TEMPORARY HAYBALES, SILT FENCES, AND/OR OTHER APPROVED DEVICES. THE DE-WATERING SETUP SHALL BE APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION. THE CONTRACTOR SHALL REGULARLY INSPECT THE PERIMETER OF THE PROPERTY TO CLEAN UP LOOSE CONSTRUCTION DEBRIS BEFORE IT LEAVES THE SITE.
  14. THE CONTRACTOR IS RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE DURING CONSTRUCTION OF ALL STORMWATER FACILITIES INSTALLED OR AFFECTED BY THE PROJECT. ANY SEDIMENT OR DEBRIS COLLECTED WITHIN THESE FACILITIES FROM THE PROJECT WORK SHALL BE REMOVED PRIOR TO THE OWNER'S ACCEPTANCE.
  15. STREET SWEEPING SHALL BE PERFORMED ON ADJACENT ROADS AND STREETS AS NECESSARY DURING THE PROJECT DURATION.

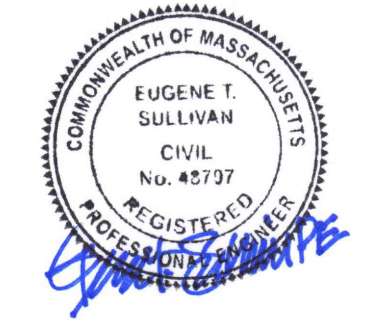
- LEGEND:**
- - - EXISTING CONTOUR
  - - - PROPOSED CONTOUR
  - SPOT GRADE
  - UTILITY POLE
  - - - EDGE OF BORDERING VEGETATED WETLANDS
  - - - SILT FENCE AND HAY BALES
  - - - PROPOSED DRAIN PIPE
  - DRAIN MANHOLE
  - CATCH BASIN
  - - - SEWER PIPE
  - SEWER MANHOLE
  - - - WATER LINE
  - WATER GATE VALVE
  - HYDRANT
  - - - GAS LINE
  - GAS GATE VALVE
  - - - ELECTRIC LINE
  - - - GUARDRAIL
  - - - CHAIN LINK FENCE



**LIMIT OF WORK:**  
PROVIDE 12" COMPOST SILT SOXX @ LIMIT OF WORK LINE

**NOTE:**  
THIS PROJECT INVOLVES A SIGNIFICANT AMOUNT OF BLASTING. ALL BLASTING OPERATIONS WILL BE PERFORMED IN ACCORDANCE WITH M.G.L. CHAPTER 148 AND 527 CMR BOARD OF FIRE PREVENTION REGULATIONS INCLUDING PRE-BLAST SURVEYS AND FIRE DETAILS. PERMITS WILL BE OBTAINED FROM THE DEVENS FIRE DEPARTMENT PRIOR TO THE COMMENCEMENT OF ANY WORK.

**EROSION CONTROLS PLAN**  
SCALE: 1" = 40'-0"  
**GRAPHIC SCALE**



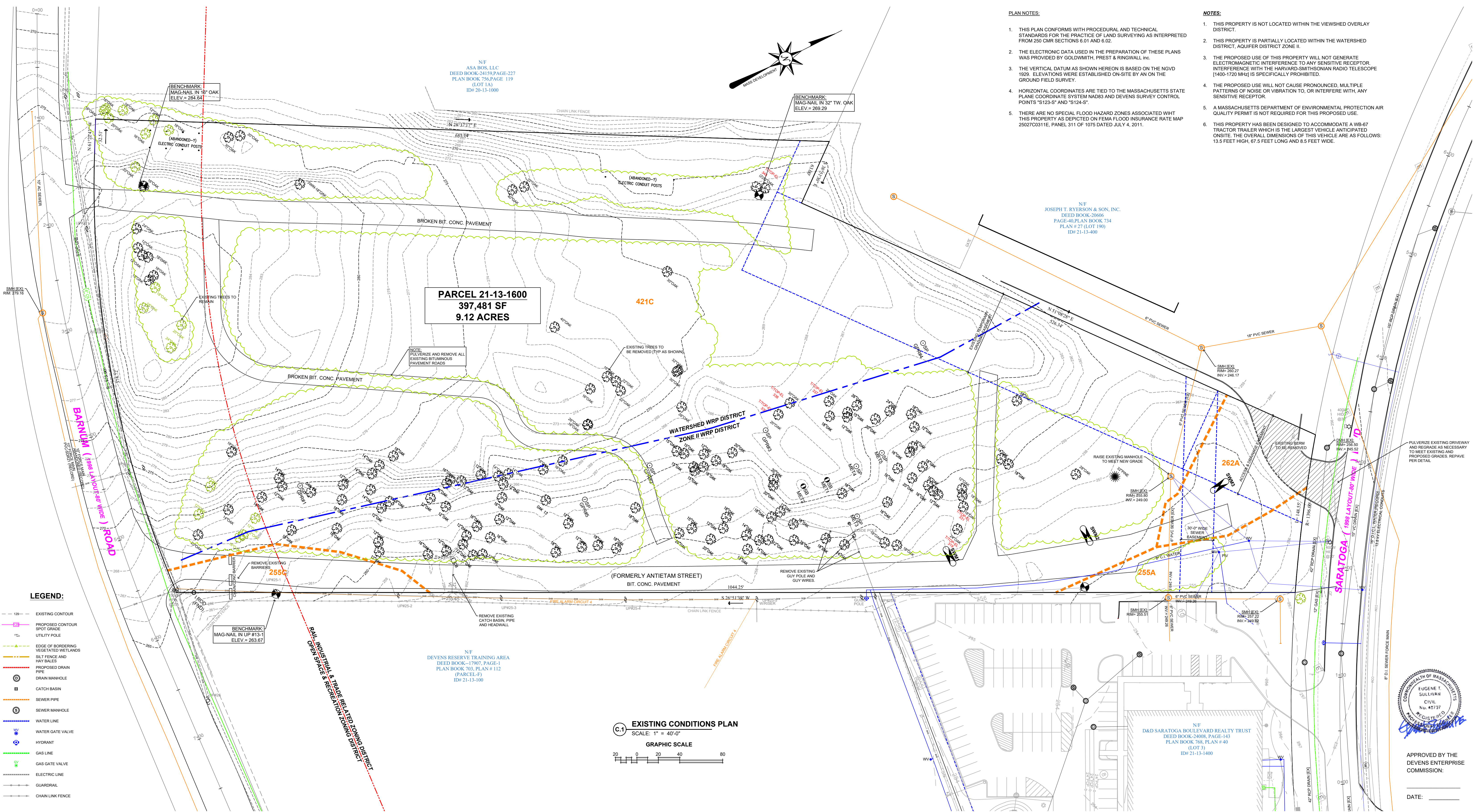
APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: \_\_\_\_\_

NO.	DATE	REVISIONS	PREPARED FOR:	DRAWING:
1	4/20/22	REVISIONS FOR SUPPLEMENTAL FILING	35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	<b>EROSION CONTROLS PLAN</b>
			<b>PROJECT:</b> PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA	<b>SCALE:</b> 1" = 40'-0" <b>DATE:</b> APRIL 6, 2022 <b>DRAWING NUMBER:</b>

Eugene T. Sullivan, Inc.  
Consulting Engineers  
230 Lowell Street - Suite 2A  
Wilmington, MA 01887  
Phone: 978.457.6469  
Fax: 978.657.8363  
Email: etsps@outlook.com

**EC.1**



**PLAN NOTES:**

1. THIS PLAN CONFORMS WITH PROCEDURAL AND TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS INTERPRETED FROM 250 CMR SECTIONS 6.01 AND 6.02.
2. THE ELECTRONIC DATA USED IN THE PREPARATION OF THESE PLANS WAS PROVIDED BY GOLDWORTH, PREST & RINGWALL INC.
3. THE VERTICAL DATUM AS SHOWN HEREON IS BASED ON THE NGVD 1929. ELEVATIONS WERE ESTABLISHED ON-SITE BY AN ON THE GROUND FIELD SURVEY.
4. HORIZONTAL COORDINATES ARE TIED TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NAD83 AND DEVENS SURVEY CONTROL POINTS 'S123-S' AND 'S124-S'.
5. THERE ARE NO SPECIAL FLOOD HAZARD ZONES ASSOCIATED WITH THIS PROPERTY AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP 25027C031E, PANEL 311 OF 1075 DATED JULY 4, 2011.

**NOTES:**

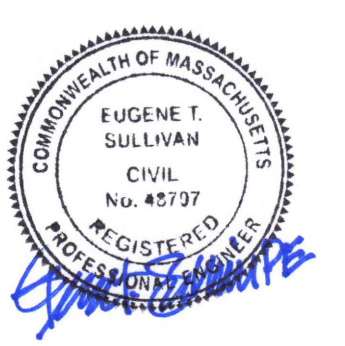
1. THIS PROPERTY IS NOT LOCATED WITHIN THE VIEWSHED OVERLAY DISTRICT.
2. THIS PROPERTY IS PARTIALLY LOCATED WITHIN THE WATERSHED DISTRICT, AQUIFER DISTRICT ZONE II.
3. THE PROPOSED USE OF THIS PROPERTY WILL NOT GENERATE ELECTROMAGNETIC INTERFERENCE TO ANY SENSITIVE RECEPTOR. INTERFERENCE WITH THE HARVARD-SMITHSONIAN RADIO TELESCOPE [1400-1720 MHz] IS SPECIFICALLY PROHIBITED.
4. THE PROPOSED USE WILL NOT CAUSE PRONOUNCED, MULTIPLE PATTERNS OF NOISE OR VIBRATION TO, OR INTERFERE WITH, ANY SENSITIVE RECEPTOR.
5. A MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION AIR QUALITY PERMIT IS NOT REQUIRED FOR THIS PROPOSED USE.
6. THIS PROPERTY HAS BEEN DESIGNED TO ACCOMMODATE A WB-67 TRACTOR TRAILER WHICH IS THE LARGEST VEHICLE ANTICIPATED ON-SITE. THE OVERALL DIMENSIONS OF THIS VEHICLE ARE AS FOLLOWS: 13.5 FEET HIGH, 67.5 FEET LONG AND 8.5 FEET WIDE.

**LEGEND:**

- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- SPOT GRADE
- UTILITY POLE
- - - EDGE OF BORDERING VEGETATED WETLANDS
- - - SILT FENCE AND HAY BALES
- - - PROPOSED DRAIN PIPE
- DRAIN MANHOLE
- CATCH BASIN
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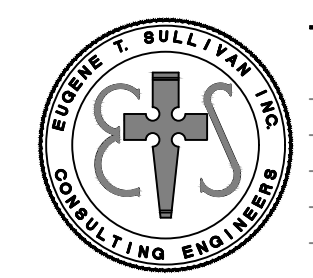
**C-1 EXISTING CONDITIONS PLAN**

SCALE: 1" = 40'-0"  
GRAPHIC SCALE



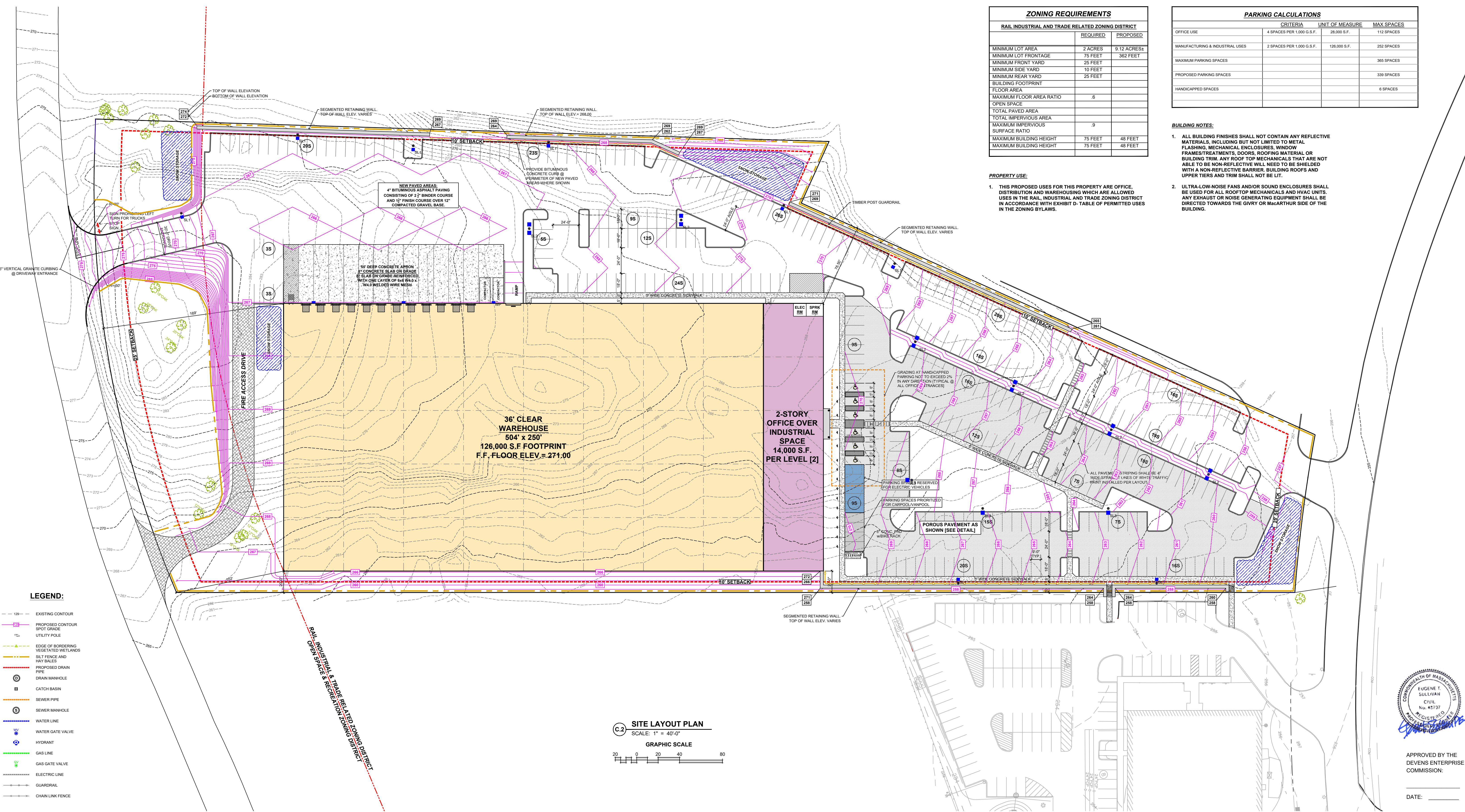
APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

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Consulting Engineers  
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NO	DATE	REVISIONS	PREPARED FOR:	DRAWING:
1	4/20/22	REVISIONS FOR SUPPLEMENTAL FILING	35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	<b>EXISTING CONDITIONS PLAN</b>
PROJECT:			PROPOSED BUILDING	SCALE: 1" = 40'-0"
			AVANTOR FLUID HANDLING	DATE: APRIL 6, 2022
			35 SARATOGA BOULEVARD	DRAWING NUMBER
			DEVENS, MA	<b>C.1</b>



ZONING REQUIREMENTS		
RAIL INDUSTRIAL AND TRADE RELATED ZONING DISTRICT		
	REQUIRED	PROPOSED
MINIMUM LOT AREA	2 ACRES	9.12 ACRES±
MINIMUM LOT FRONTAGE	75 FEET	362 FEET
MINIMUM FRONT YARD	25 FEET	
MINIMUM SIDE YARD	10 FEET	
MINIMUM REAR YARD	25 FEET	
BUILDING FOOTPRINT FLOOR AREA		
MAXIMUM FLOOR AREA RATIO	6	
OPEN SPACE		
TOTAL PAVED AREA		
TOTAL IMPERVIOUS AREA		
MAXIMUM IMPERVIOUS SURFACE RATIO	9	
MAXIMUM BUILDING HEIGHT	75 FEET	48 FEET
MAXIMUM BUILDING HEIGHT	75 FEET	48 FEET

PARKING CALCULATIONS			
	CRITERIA	UNIT OF MEASURE	MAX SPACES
OFFICE USE	4 SPACES PER 1,000 G.S.F.	28,000 S.F.	112 SPACES
MANUFACTURING & INDUSTRIAL USES	2 SPACES PER 1,000 G.S.F.	126,000 S.F.	252 SPACES
MAXIMUM PARKING SPACES			366 SPACES
PROPOSED PARKING SPACES			339 SPACES
HANDICAPPED SPACES			6 SPACES

**PROPERTY USE:**

1. THIS PROPOSED USES FOR THIS PROPERTY ARE OFFICE, DISTRIBUTION AND WAREHOUSING WHICH ARE ALLOWED USES IN THE RAIL, INDUSTRIAL AND TRADE ZONING DISTRICT IN ACCORDANCE WITH EXHIBIT D- TABLE OF PERMITTED USES IN THE ZONING BYLAWS.

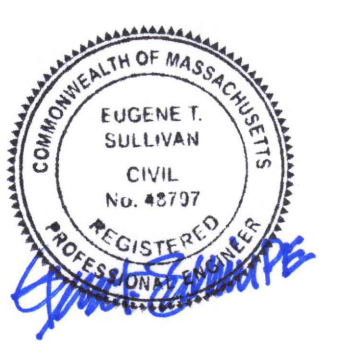
**BUILDING NOTES:**

1. ALL BUILDING FINISHES SHALL NOT CONTAIN ANY REFLECTIVE MATERIALS, INCLUDING BUT NOT LIMITED TO METAL FLASHING, MECHANICAL ENCLOSURES, WINDOW FRAMES/TREATMENTS, DOORS, ROOFING MATERIAL OR BUILDING TRIM. ANY ROOF TOP MECHANICALS THAT ARE NOT ABLE TO BE NON-REFLECTIVE WILL NEED TO BE SHIELDED WITH A NON-REFLECTIVE BARRIER. BUILDING ROOFS AND UPPER TIERS AND TRIM SHALL NOT BE LIT.

2. ULTRA-LOW-NOISE FANS AND/OR SOUND ENCLOSURES SHALL BE USED FOR ALL ROOFTOP MECHANICALS AND HVAC UNITS. ANY EXHAUST OR NOISE GENERATING EQUIPMENT SHALL BE DIRECTED TOWARDS THE GIVRY OR MACARTHUR SIDE OF THE BUILDING.

- LEGEND:**
- - - 129 - EXISTING CONTOUR
  - - - 129 - PROPOSED CONTOUR
  - - - - 129 - SPOT GRADE
  - - - - 129 - UTILITY POLE
  - - - 129 - EDGE OF BORDERING VEGETATED WETLANDS
  - - - 129 - SILT FENCE AND HAY BALES
  - - - 129 - PROPOSED DRAIN PIPE
  - - - - 129 - DRAIN MANHOLE
  - - - - 129 - CATCH BASIN
  - - - 129 - SEWER PIPE
  - - - - 129 - SEWER MANHOLE
  - - - 129 - WATER LINE
  - - - - 129 - WATER GATE VALVE
  - - - - 129 - HYDRANT
  - - - 129 - GAS LINE
  - - - - 129 - GAS GATE VALVE
  - - - 129 - ELECTRIC LINE
  - - - 129 - GUARDRAIL
  - - - 129 - CHAIN LINK FENCE

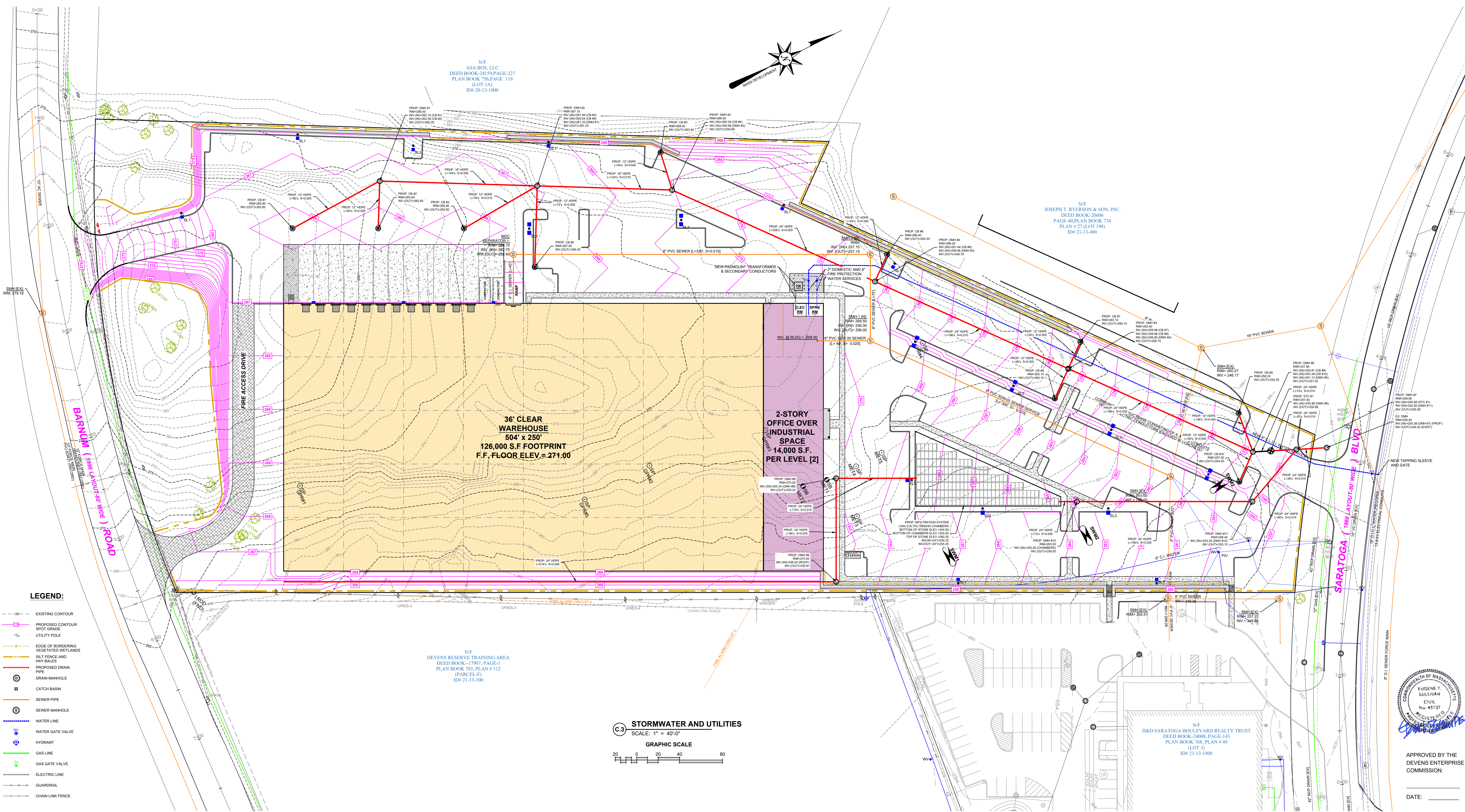
**C-2 SITE LAYOUT PLAN**  
 SCALE: 1" = 40'-0"  
 GRAPHIC SCALE



APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: \_\_\_\_\_

<p>Eugene T. Sullivan, Inc.          Consulting Engineers          230 Lowell Street - Suite 2A          Wilmington, MA 01887          Phone: 978.657.6469          Fax: 978.657.8563          Email: etspe@outlook.com</p>	<p>NO. DATE REVISIONS</p> <p>1 4/20/22 REVISIONS FOR SUPPLEMENTAL FILING</p>	<p>PREPARED FOR:</p> <p>35 SARATOGA PROPERTY OWNER, LLC          133 PEARL STREET          BOSTON, MA</p>	<p>PROJECT:</p> <p>PROPOSED BUILDING AVANTOR FLUID HANDLING          35 SARATOGA BOULEVARD          DEVENS, MA</p>	<p>DATE: APRIL 6, 2022</p> <p>SCALE: 1" = 40'-0"</p> <p>DATE: APRIL 6, 2022</p> <p>DRAWING NUMBER</p> <p><b>C.2</b></p>
	<p>DATE: _____</p>	<p>DATE: _____</p>	<p>DATE: _____</p>	<p>DATE: _____</p>



N/F  
ASA BOS, LLC  
DEED BOOK 24159, PAGE 227  
PLAN BOOK 756, PAGE 119  
(LOT 1A)  
ID# 20-13-1000

N/F  
JOSEPH T. RYERSON & SON, INC.  
DEED BOOK 20606  
PAGE 40, PLAN BOOK 734  
PLAN # 27 (LOT 190)  
ID# 21-13-400

**36' CLEAR WAREHOUSE**  
504' x 250'  
126,000 S.F. FOOTPRINT  
F.F. FLOOR ELEV. = 271.00

**2-STORY OFFICE OVER INDUSTRIAL SPACE**  
14,000 S.F. PER LEVEL [2]

N/F  
DEVENS RESERVE TRAINING AREA  
DEED BOOK 17907, PAGE 1  
PLAN BOOK 703, PLAN # 112  
(PARCEL F)  
ID# 21-13-100

N/F  
D&D SARATOGA BOULEVARD REALTY TRUST  
DEED BOOK 24068, PAGE 143  
PLAN BOOK 768, PLAN # 40  
(LOT 3)  
ID# 21-13-1400

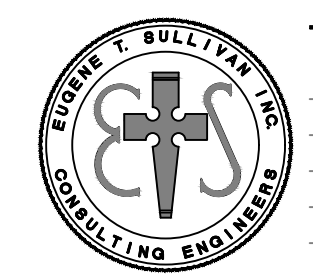
- LEGEND:**
- - - EXISTING CONTOUR
  - - - PROPOSED CONTOUR
  - SPOT GRADE
  - UTILITY POLE
  - △ EDGE OF BORDERING VEGETATED WETLANDS
  - ▭ SILT FENCE AND HAY BALES
  - PROPOSED DRAIN PIPE
  - DRAIN MANHOLE
  - CATCH BASIN
  - SEWER PIPE
  - SEWER MANHOLE
  - WATER LINE
  - WATER GATE VALVE
  - HYDRANT
  - GAS LINE
  - GAS GATE VALVE
  - ELECTRIC LINE
  - GUARDRAIL
  - CHAIN LINK FENCE

**STORMWATER AND UTILITIES**  
SCALE: 1" = 40'-0"  
GRAPHIC SCALE  
0 20 40 80



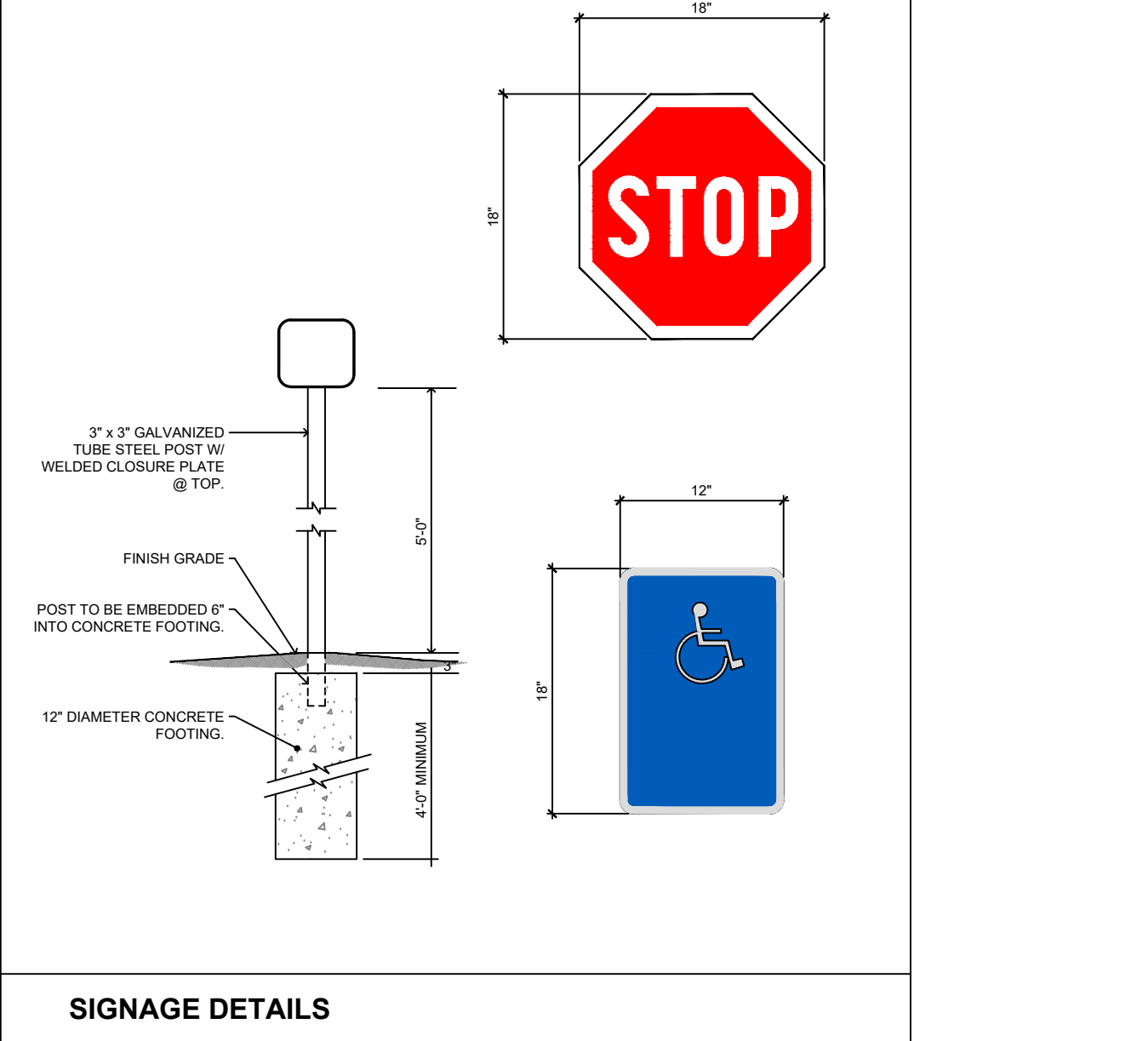
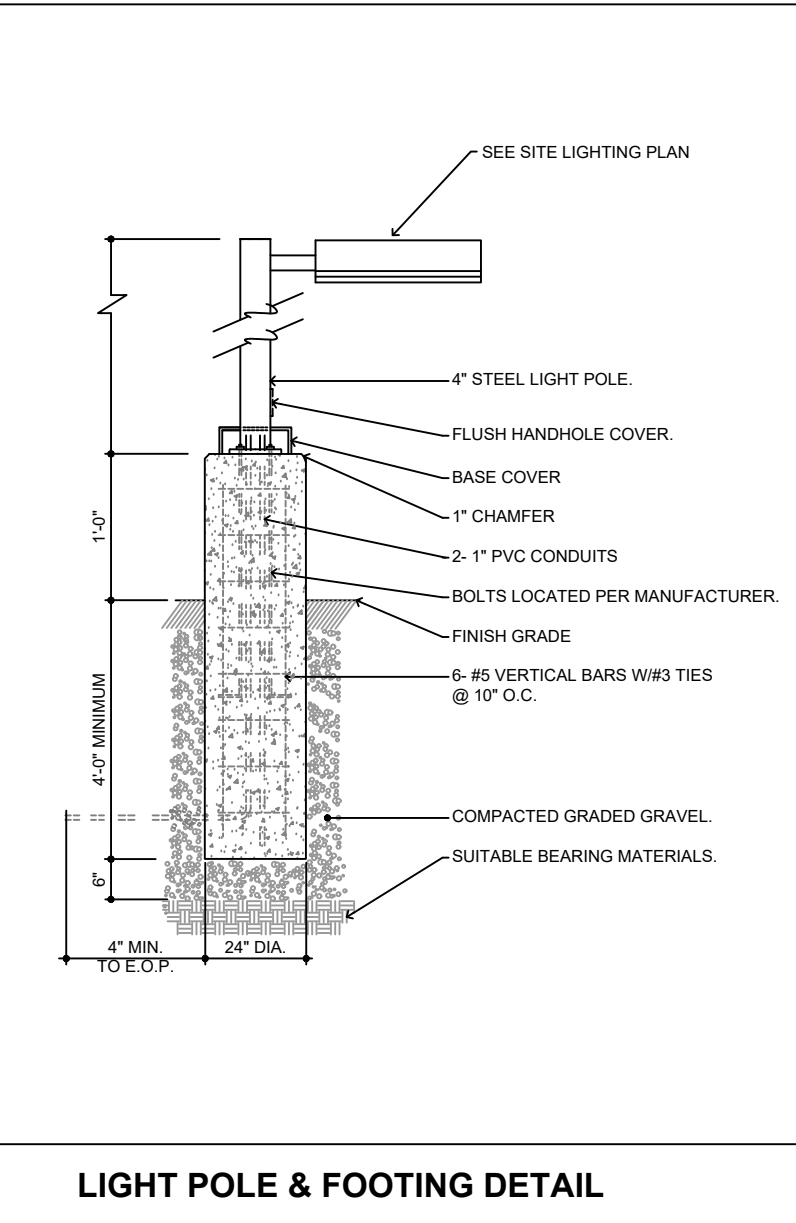
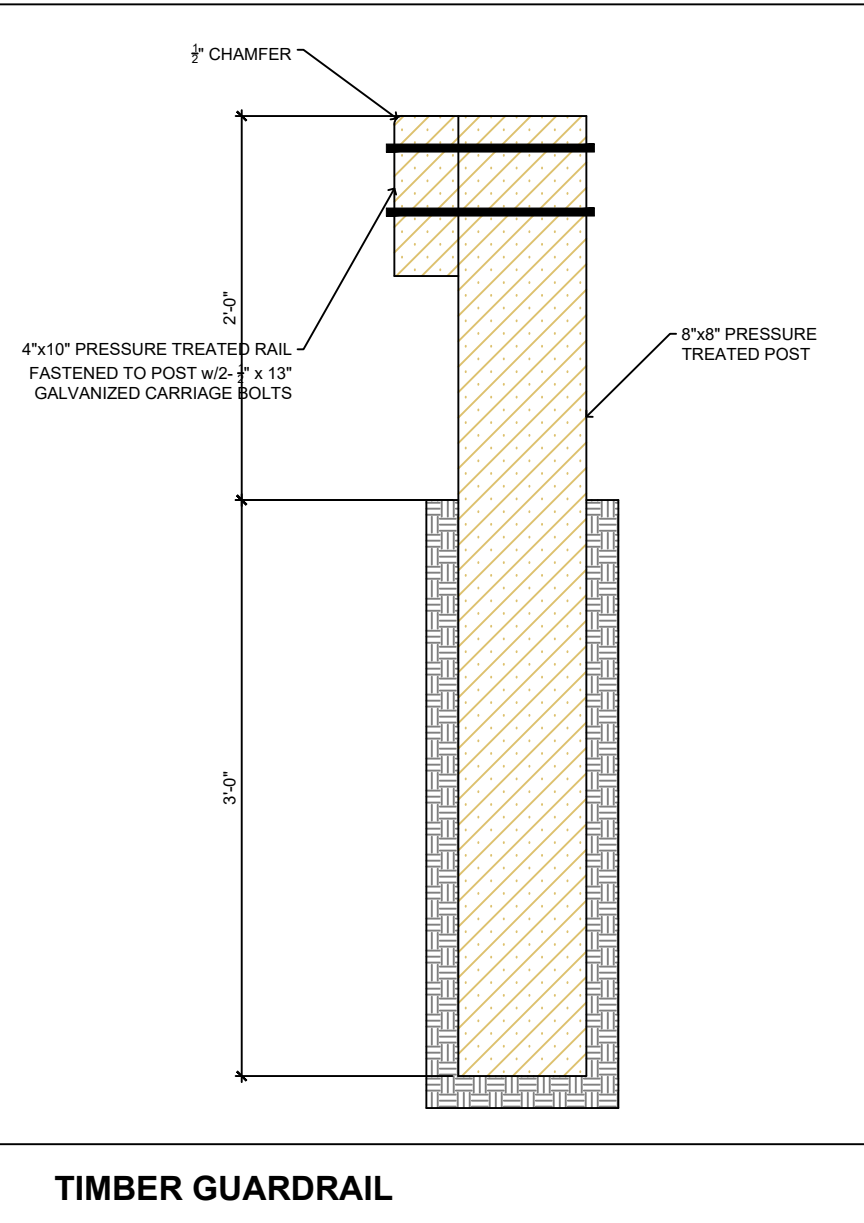
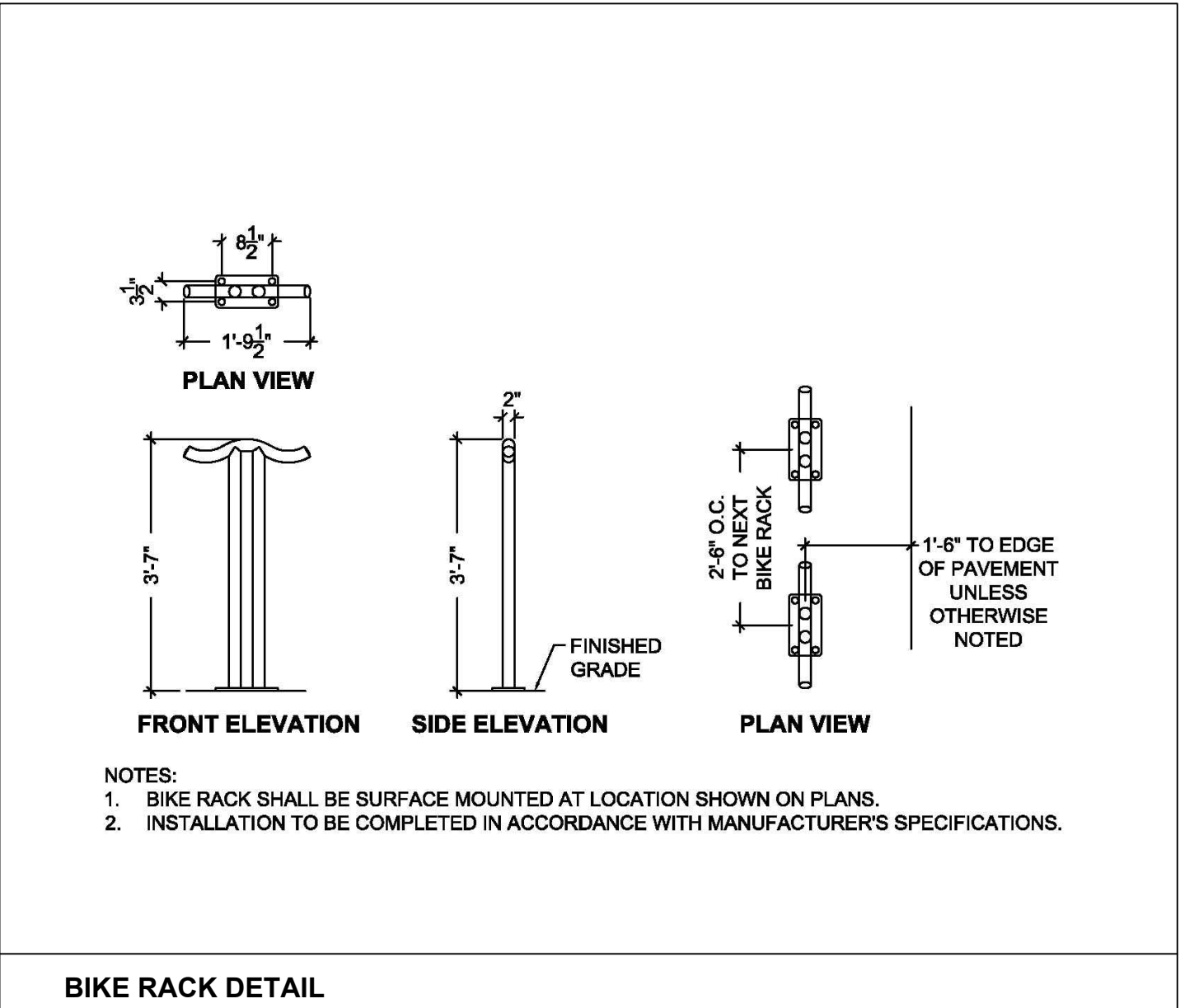
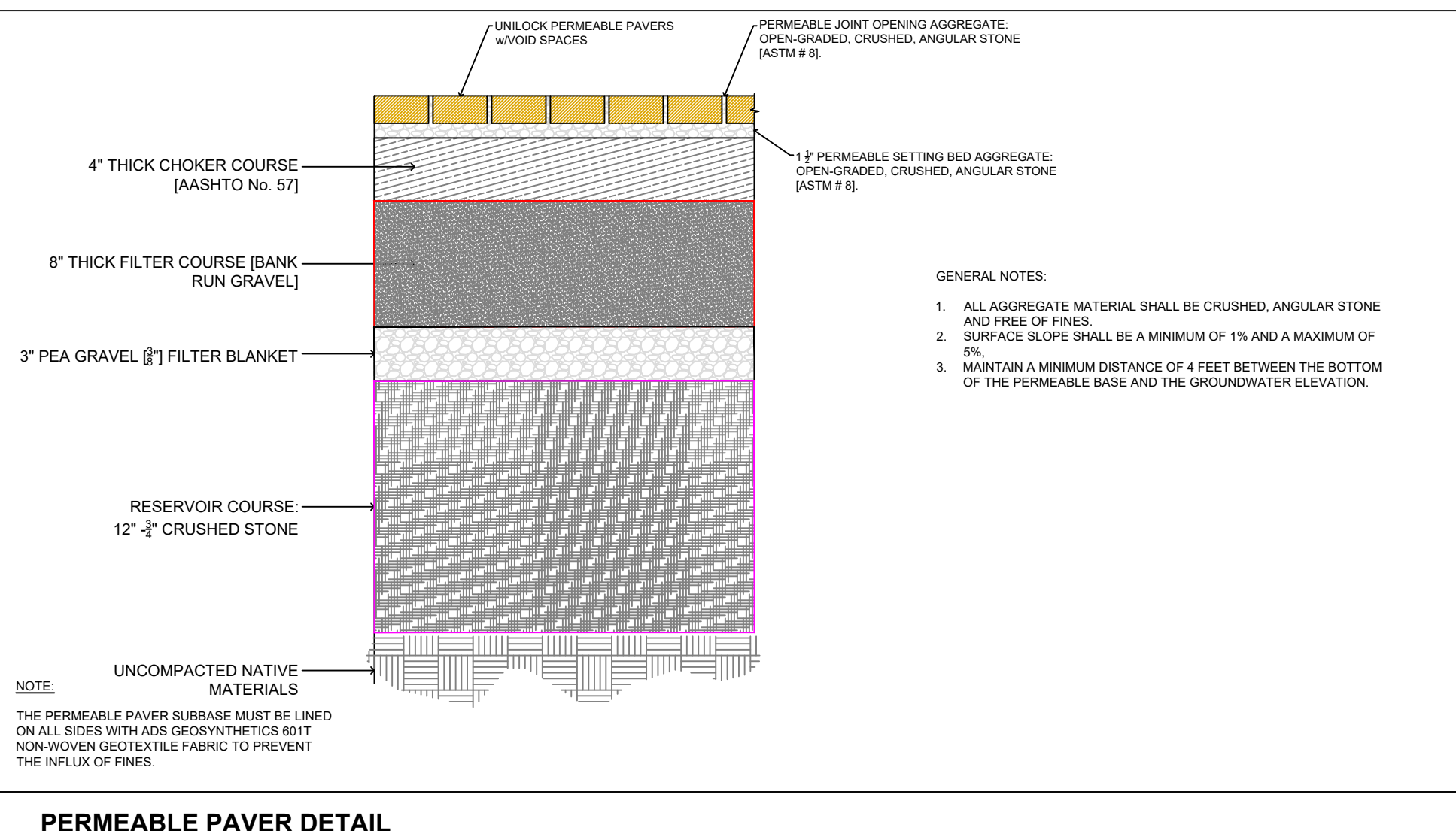
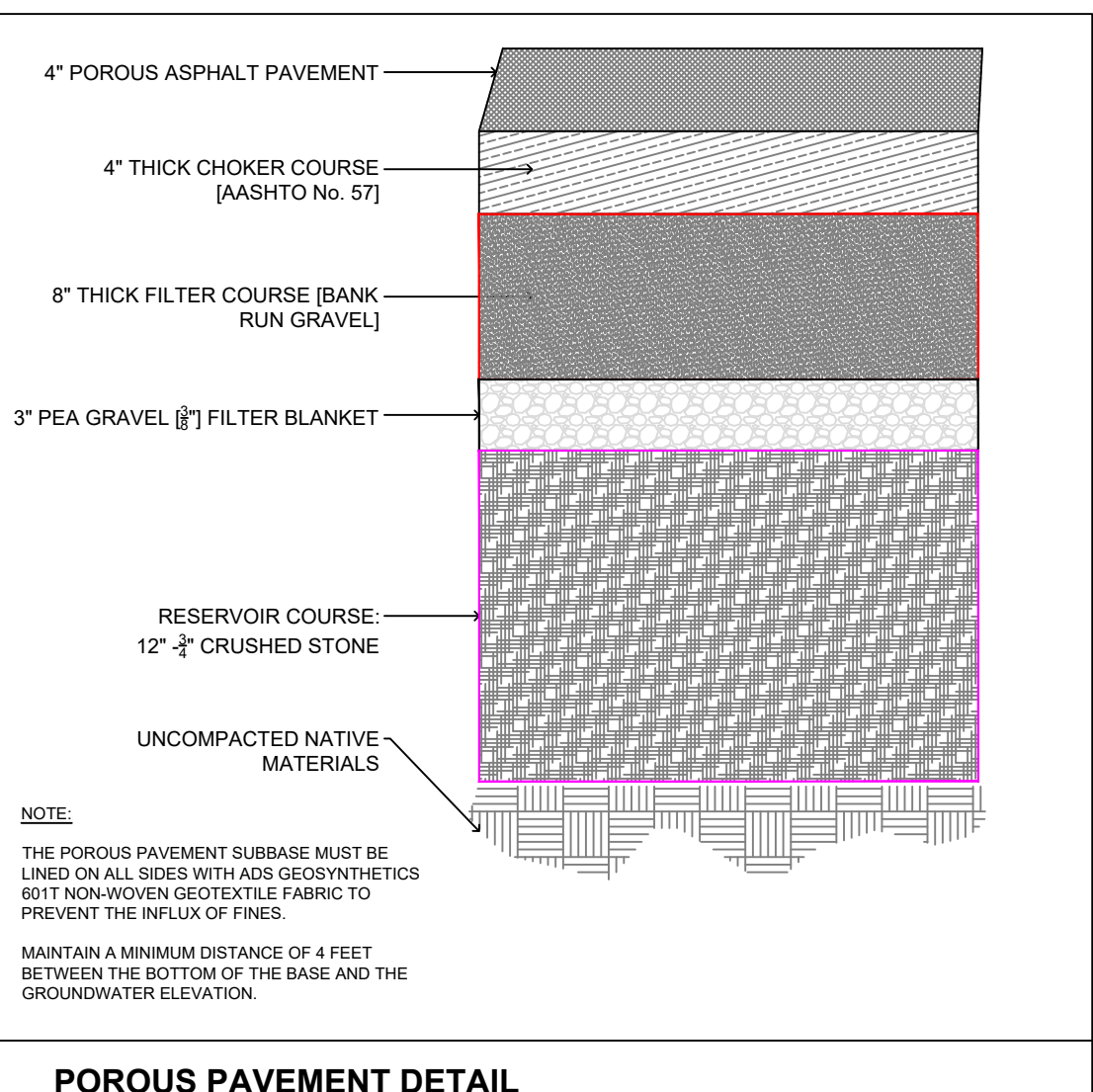
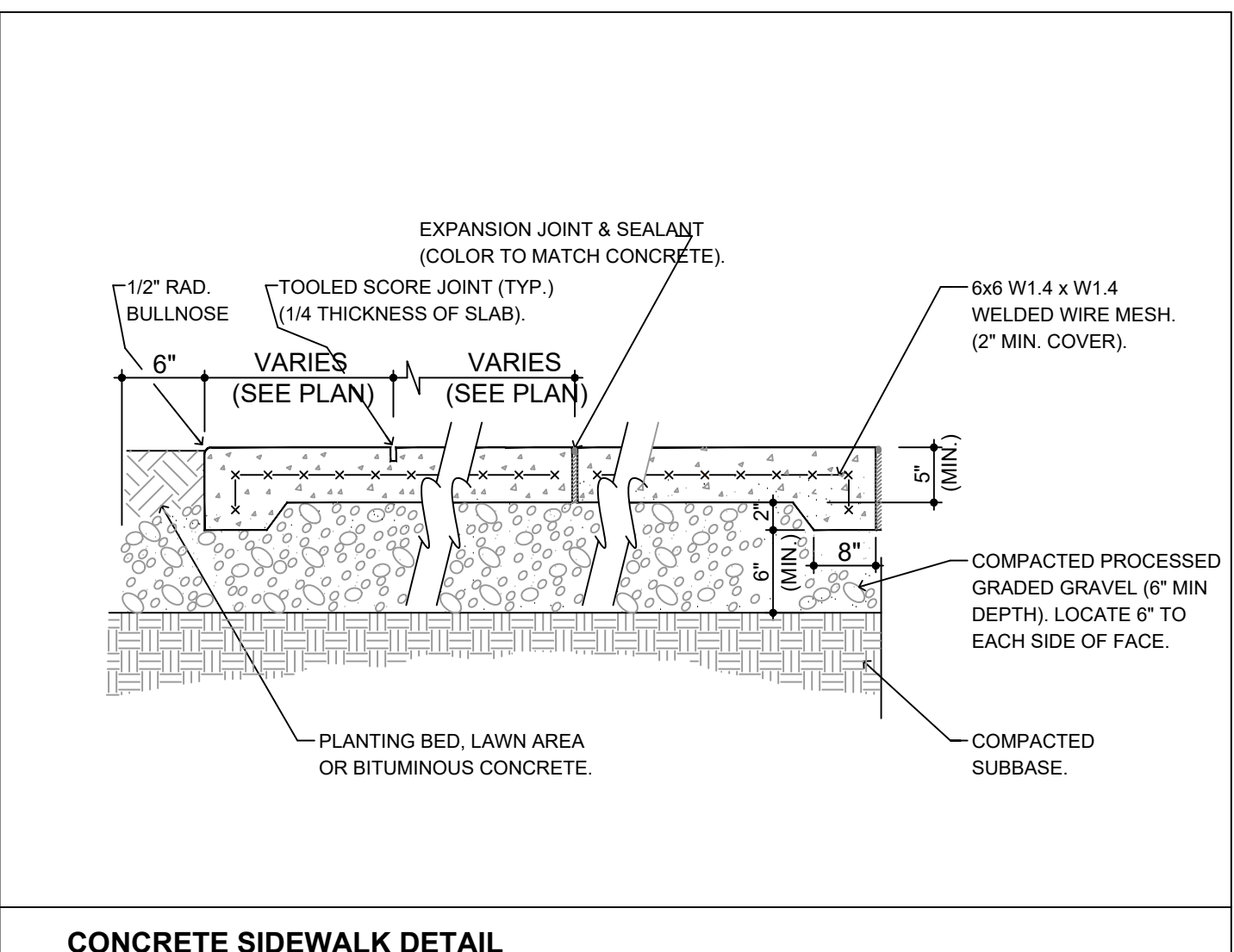
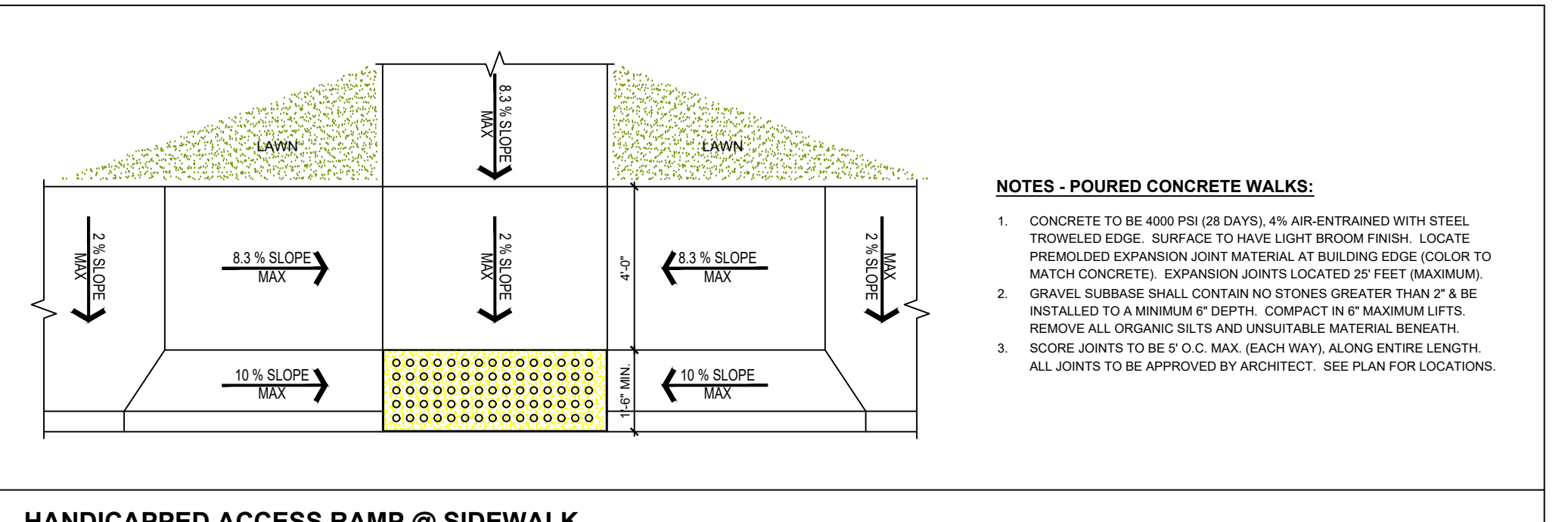
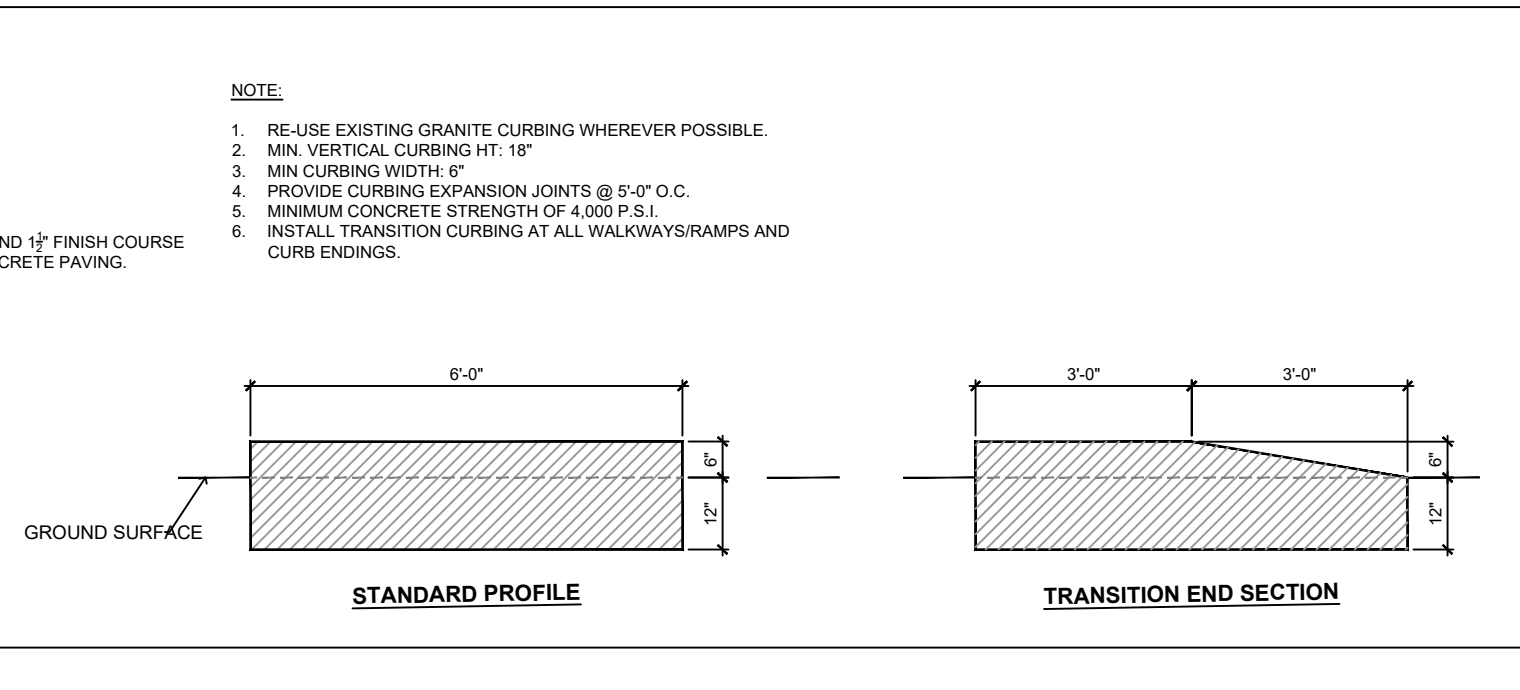
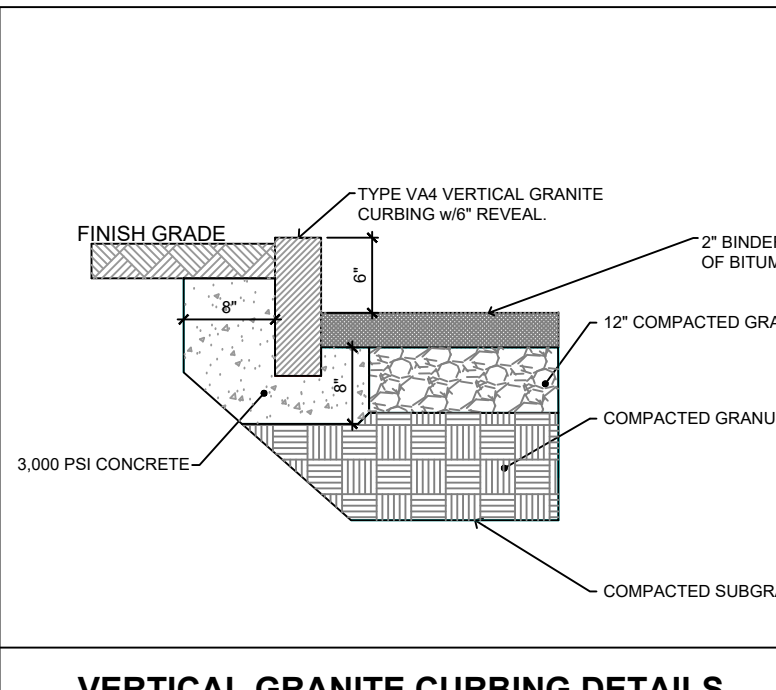
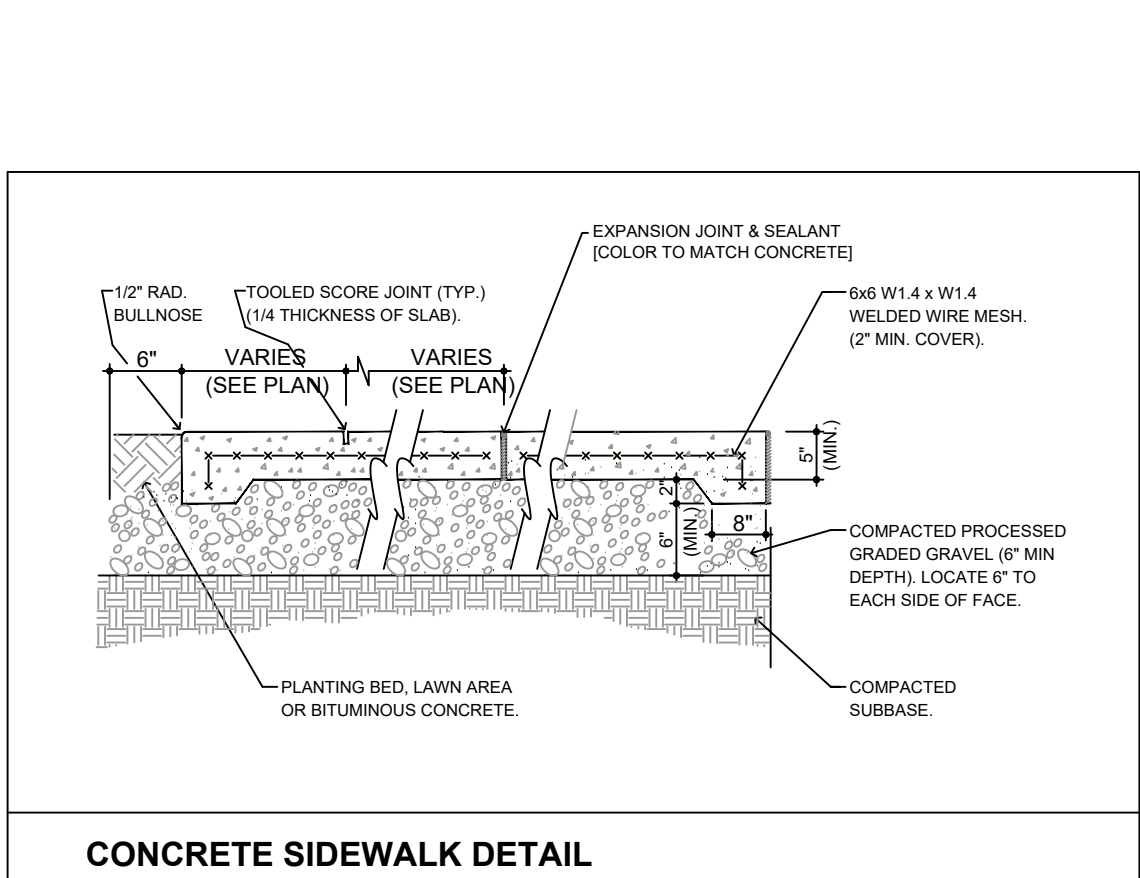
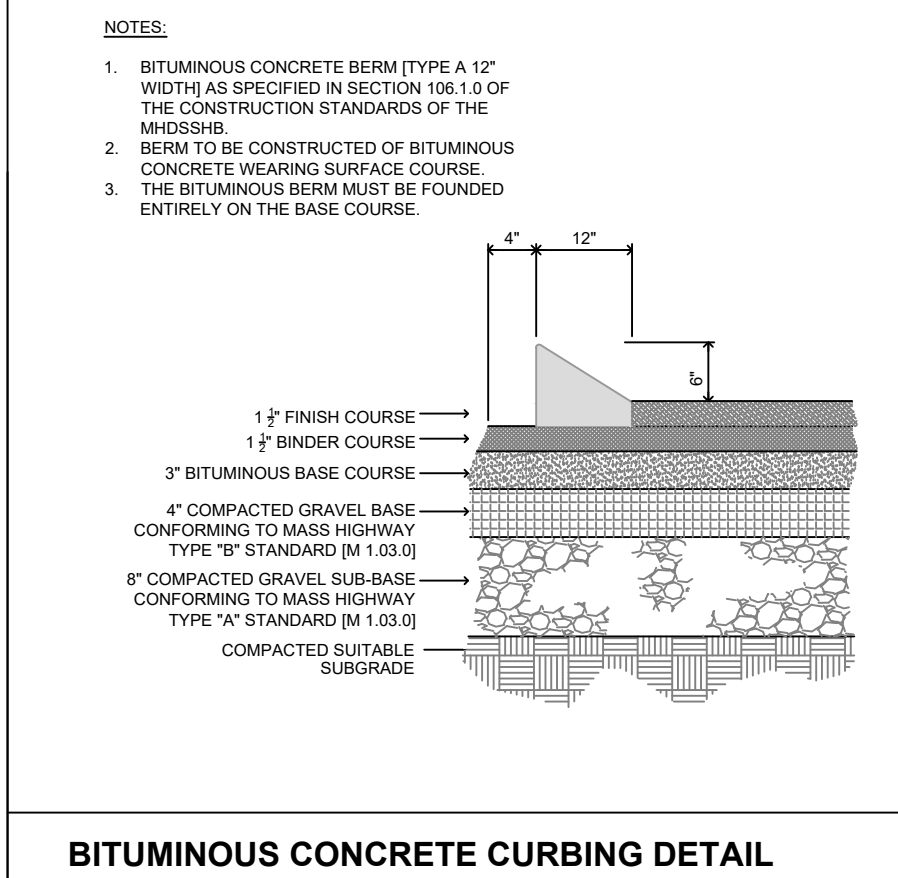
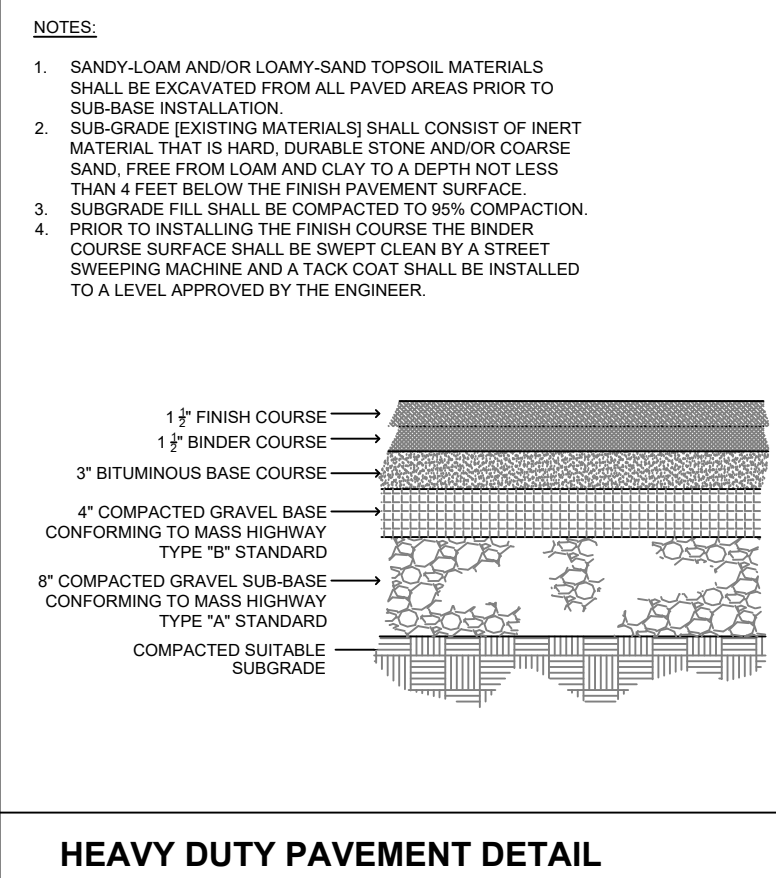
APPROVED BY THE  
DEVENS ENTERPRISE  
COMMISSION:

DATE: \_\_\_\_\_



Eugene T. Sullivan, Inc.  
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230 Lowell Street - Suite 2A  
Wilmington, MA 01887  
Phone: 978-657-6469  
Fax: 978-671-8363  
Email: etspe@outlook.com

NO.	DATE	REVISIONS	PREPARED FOR:	DRAWING:
1	4/20/22	REVISIONS FOR SUPPLEMENTAL FILING	35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	<b>STORMWATER AND UTILITIES PLAN</b>
PROJECT:			PROPOSED BUILDING	SCALE: 1" = 40'-0"
			AVANTOR FLUID HANDLING	DATE: APRIL 6, 2022
			35 SARATOGA BOULEVARD DEVENS, MA	DRAWING NUMBER
				<b>C.3</b>



- DRAINAGE AND UTILITIES NOTES:**
- ALL UNDERGROUND STRUCTURES, INCLUDING MANHOLES, CATCH BASINS, AREA DRAINS, THE PUMP STATION AND GREASE TRAP, SHALL BE DESIGNED TO WITHSTAND H-20 LOADING.
  - ALL STORM DRAINAGE PIPING TO BE HIGH DENSITY POLYETHYLENE (HDPE, ADS N-12 OR APPROVED EQUAL) OR RCP CLASS IV CAPABLE OF WITHSTANDING H-20 LOADING. MINIMUM CLEARANCE BETWEEN PROPOSED DRAINAGE PIPING AND OTHER UTILITIES STRUCTURES SHALL BE 18 INCHES VERTICALLY AND 4 FEET HORIZONTALLY. THE MINIMUM COVER OF THE HDPE PIPE IS 1'-0" FOR H-20 LOADS, THIS COVER IS MEASURED FROM THE PIPE OD TO THE TOP OF RIGID PAVEMENT.
  - THE MAINTENANCE OF ALL DRAINAGE STRUCTURES IS THE RESPONSIBILITY OF THE OWNER.
  - ALL CONSTRUCTION AND TESTING METHODS SHALL COMPLY WITH THE LOCAL RULES AND REGULATIONS. IN CASES WHERE THE DRAWINGS DIFFER FROM THESE REGULATIONS, THE MOST RESTRICTIVE REQUIREMENT SHALL APPLY.
  - ALL DRAINAGE STRUCTURES AND DETAILS TO BE CONSTRUCTED AND INSPECTED CONSISTENT WITH THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - THE CONTRACTOR SHALL INSPECT AND RESTORE / CLEAN ALL FACILITIES (INLETS, MANHOLES, BASINS, ETC) OF SEDIMENT AND DEBRIS PRIOR TO THE ENGINEER'S ACCEPTANCE.
  - PROPOSED GAS, ELECTRIC, WATER, TELEPHONE AND TELEVISION SERVICE LOCATIONS MUST BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION DETAILS TO BE CONSISTENT WITH UTILITY COMPANY STANDARDS AND REQUIREMENTS.
  - CONTRACTOR TO PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
  - ALL WATER MAINS AND WATER SERVICES SHALL HAVE A MINIMUM OF FIVE (5) FEET OF COVER.
  - ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON PIPE. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM.
  - HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE LOCAL AUTHORITY. THE CONTRACTOR SHALL CONSTRUCT THE WATER MAIN AND ITS APPURTENANCE WORK IN ACCORDANCE WITH THE LOCAL WATER DEPARTMENT'S STANDARDS AND SPECIFICATIONS AND PAY FOR ALL ASSOCIATED FEES AS REQUIRED BY THE WATER DEPARTMENT. THE CONTRACTOR SHALL CONTACT THE WATER DEPARTMENT TO ENSURE PROPER INSPECTIONS OF WATER PIPING PRIOR TO BACKFILLING.
  - ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE LOCAL AUTHORITY.
  - ALL SEWER PIPE WITH LESS THAN 5' OF COVER UNDER PAVEMENT AND LESS THAN 4' OF COVER UNDER LOADED AREAS SHALL BE INSULATED. INSULATION SHALL BE 2" THICK POLYURETHANE INSULATION WITH PVC JACKET PLACED AROUND PIPE.
  - A 10 FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ANY WATER AND SANITARY SEWER LINES. AN 18" INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
  - THE RELOCATION OF THE WATER AND SEWER SERVICES ALONG THE EAST END OF THE PROPOSED ADDITION WILL REQUIRE CLOSE COORDINATION WITH THE DEVENS UTILITIES DEPARTMENT TO MINIMIZE POTENTIAL IMPACTS ON ADJACENT PROPERTIES. THE NEW SEWER CONNECTIONS WILL REQUIRE A BYPASS PUMP STATION TO ENSURE SERVICE TO THE OTHER PROPERTIES.
  - MECHANICAL AND FIRE PROTECTION ENGINEERS TO VERIFY DESIGN AND SIZES OF PROPOSED WATER AND SEWER SERVICES TO SITE.
  - CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH THE POWER COMPANY.
  - SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
  - WHERE MANUFACTURERS ARE SPECIFIED ON THESE DRAWINGS, APPROVED EQUALS MAY BE SUBSTITUTED UPON WRITTEN APPROVAL FROM THE CIVIL ENGINEER OF RECORD.
  - IF AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY OR OTHER CONFLICT SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR WITHOUT DELAY, AND THE INFORMATION FURNISHED IN WRITING TO CIVIL ENGINEER OF RECORD TO RESOLVE THE CONFLICT.
  - THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF NEW UTILITY SERVICES. LOCATIONS AND ELEVATIONS WITH THE UTILITY COMPANIES AND THE BUILDING DRAWINGS.
  - THE CONTRACTOR IS RESPONSIBLE TO SUBMIT TESTING REPORTS, SHOP DRAWINGS AND PRODUCT SPECIFICATIONS TO THE CIVIL ENGINEER OF RECORD FOR MATERIALS. STRUCTURES, EQUIPMENT, RETAINING WALLS, ETC. FOR APPROVAL PRIOR TO INSTALLATION.
  - THE CONTRACTOR IS TO SUBMIT AS-BUILT PLANS IN ELECTRONIC CAD FORMAT TO THE OWNER AND CIVIL ENGINEER OF RECORD UPON COMPLETION OF THE PROJECT. THE AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A MA LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER. AS-BUILT DRAWINGS SHALL ALSO BE PROVIDED TO THE DEVENS ENTERPRISE COMMISSION AND COMPLY WITH THEIR AS-BUILT POLICY. <https://www.devenses.com/development/as-built-policy.pdf>

- GRADING NOTES:**
- COMPACTION REQUIREMENTS:**
- | MINIMUM COMPACTION | LOCATION                      |
|--------------------|-------------------------------|
| 95%                | BELOW PAVED OR CONCRETE AREAS |
| 95%                | TRENCH BEDDING MATERIALS      |
| 90%                | BELOW LOAM AND SEED AREAS     |
- ALL PERCENTAGES OF COMPACTION TESTING SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557 METHOD B. FIELD DENSITY TESTS MUST BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
  - THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR EARTHWORK AND COMPACTION REQUIREMENTS FOR ALL SLABS AND BUILDING FOUNDATIONS.
  - SPRINKLER OR USE A WATER TRUCK AS NECESSARY TO APPLY WATER DURING GRADING OPERATIONS IN ORDER TO MINIMIZE SEDIMENT TRANSPORT AND MAINTAIN ACCEPTABLE AIR QUALITY CONDITIONS. REPETITIVE TREATMENTS SHALL BE DONE AS NEEDED UNTIL THE GRADES ARE PAVED OR SEEDED.
  - ONCE THE PERIMETER EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED, CUTTING AND EARTH PREPARATION SHALL COMMENCE FOR THE PROPOSED CONSTRUCTION ENTRANCE.
  - DIVERSION BERMS AND SEDIMENT TRAPS SHALL BE CONSTRUCTED, AS NEEDED, TO CAPTURE SILT LADEN RUNOFF FROM THE SITE.
  - SITE CLEARING AND GRUBBING CAN PROCEED UP TO THE LIMIT OF WORK. NO ALTERATIONS SHALL TAKE PLACE OUTSIDE THE LIMIT OF WORK FOR THE PROJECT WITHOUT PRIOR AUTHORIZATION FROM THE CIVIL ENGINEER OF RECORD AND THE CONSERVATION AGENT.
  - PROCEED WITH ROUGH GRADING OF SUB-SOILS IN PREPARATION FOR GRAVEL BASE COURSES.
  - ALL EARTHWORK AND SITE PREPARATION SHALL BE DONE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF ANY SUBSURFACE INVESTIGATION OR GEOTECHNICAL REPORTS PREPARED FOR THIS SITE.
  - 2" BINDER COURSE AND 1 1/2" FINISH COURSE OF BITUMINOUS PAVEMENT TO BE INSTALLED ON SITE ON ALL PARKING AREAS. GRAVEL BASE CROSS-SECTION TO BE PREPARED AND INSPECTED BY THE CIVIL ENGINEER OF RECORD PRIOR TO PAVEMENT INSTALLATION.
  - THE CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL RECEIVE A MINIMUM OF 6" OF LOAM AND SEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ANY LOAMED AND SEEDED AREAS UNTIL LAWN GROWTH IS ESTABLISHED AND APPROVED BY THE ENGINEER / OWNER.
  - CONTRACTOR TO PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM ANY BUILDINGS FOR ALL NATURAL AND PAVED AREAS.

**DATE:** 1/4/2022

**REVISIONS:**

NO.	DATE	REVISIONS
1	4/20/22	REVISIONS FOR SUPPLEMENTAL PLING

**PREPARED FOR:** 35 SARATOGA PROPERTY OWNER, LLC  
133 PEARL STREET  
BOSTON, MA

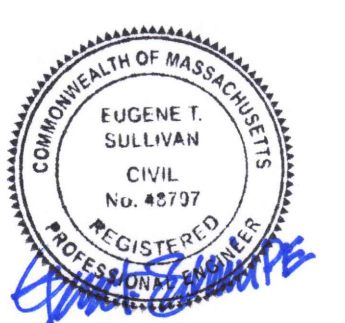
**DRAWING:** SITE DETAILS PLAN

**PROJECT:** PROPOSED BUILDING AVANTOR FLUID HANDLING  
35 SARATOGA BOULEVARD  
DEVENS, MA

**SCALE:** AS NOTED

**DATE:** APRIL 6, 2022

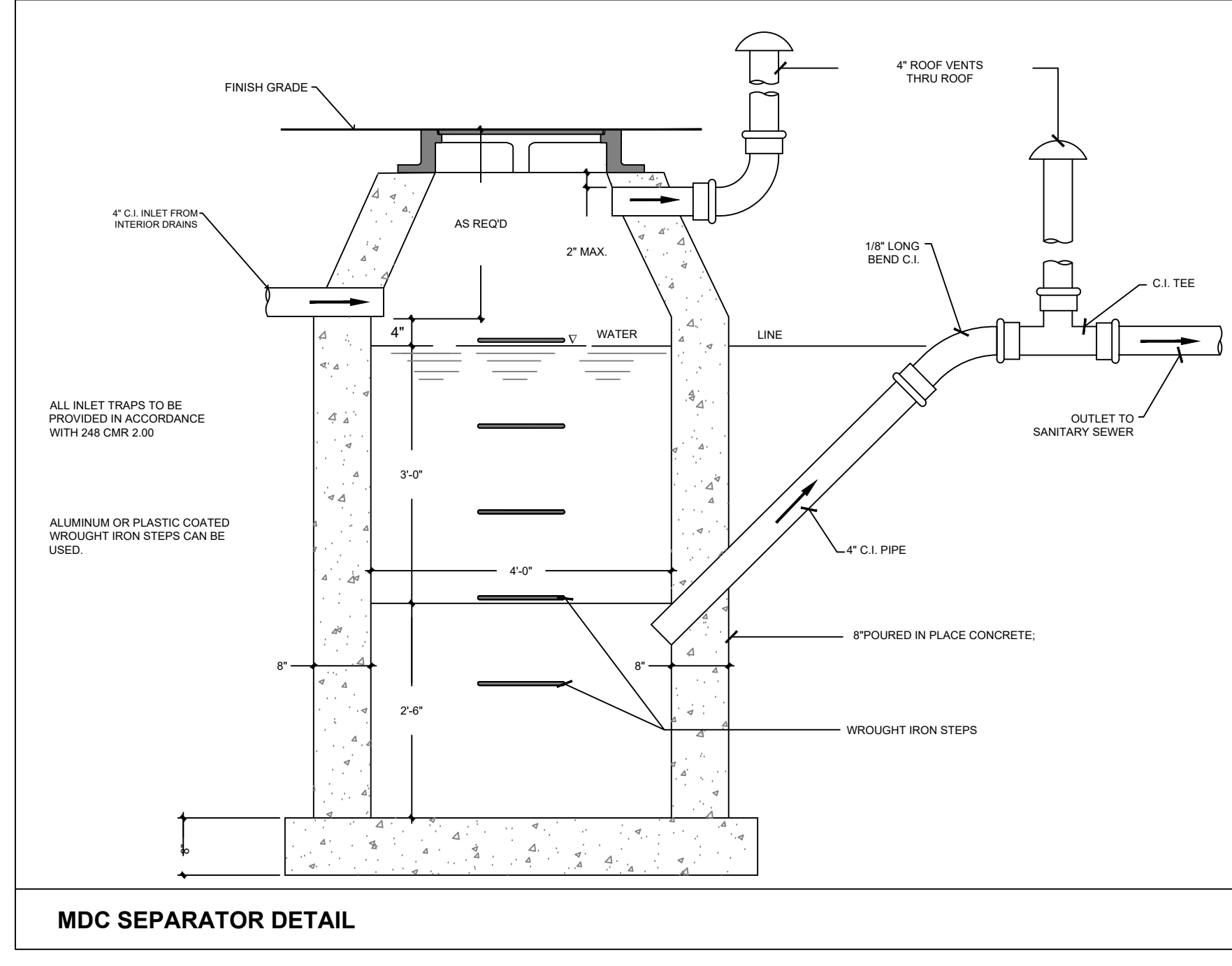
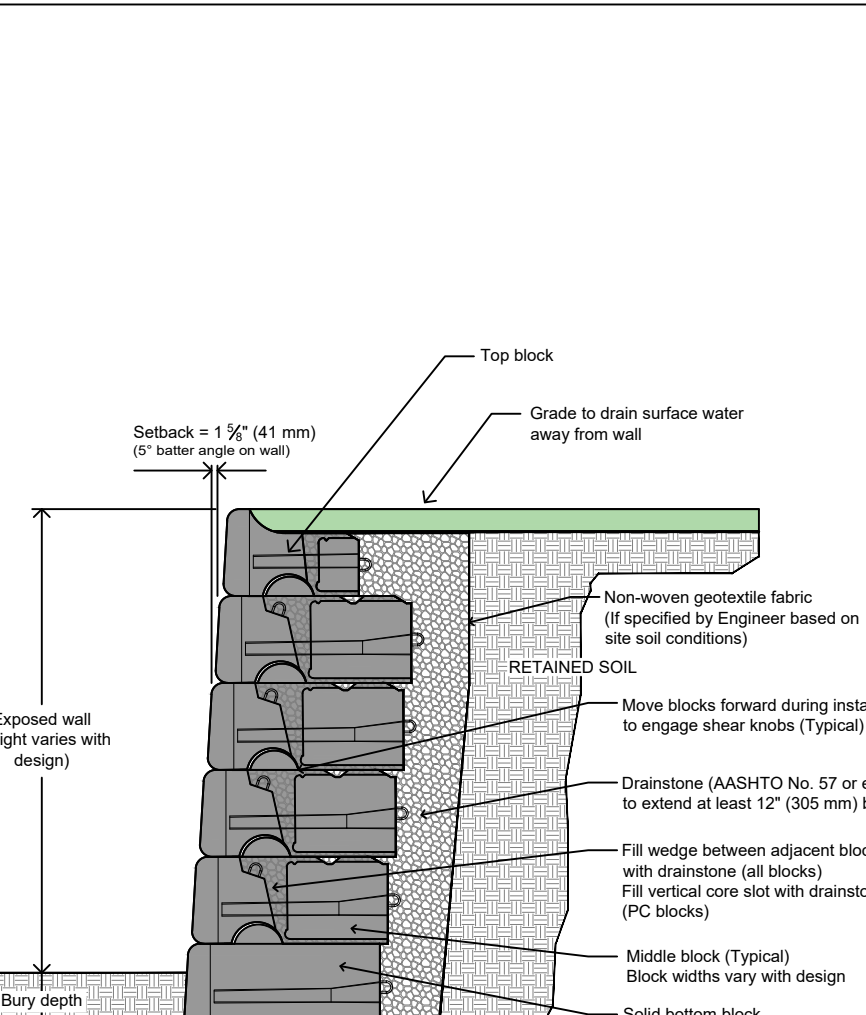
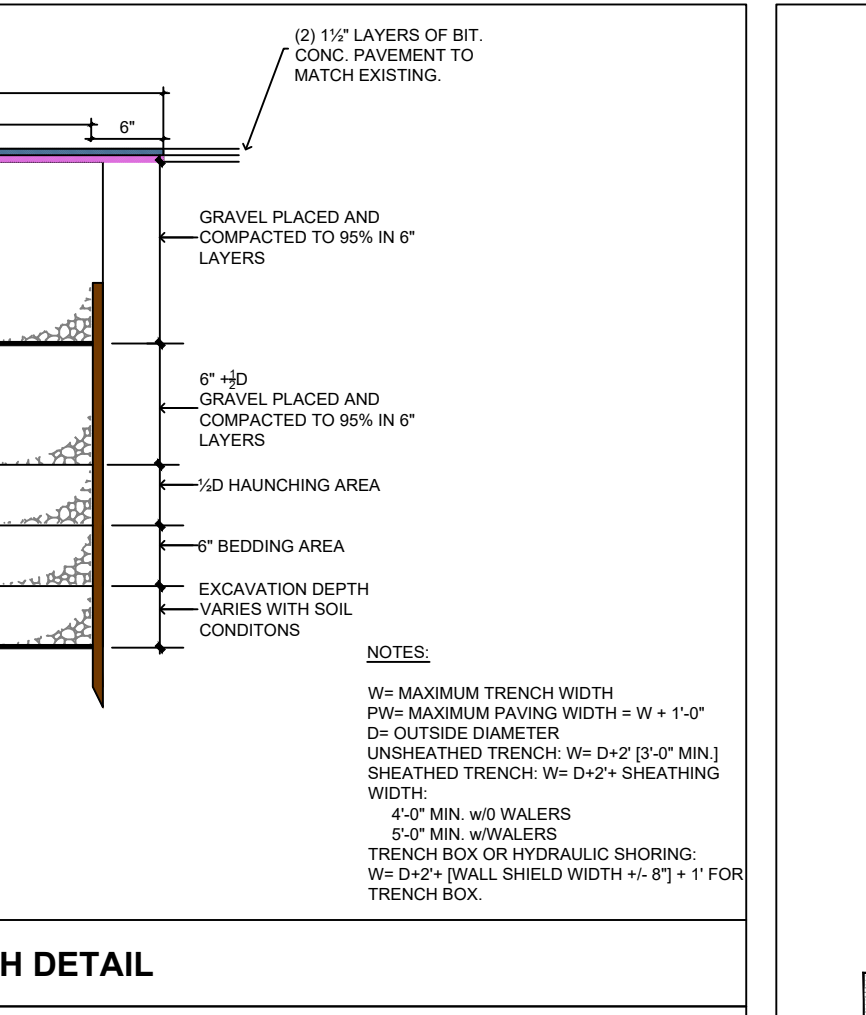
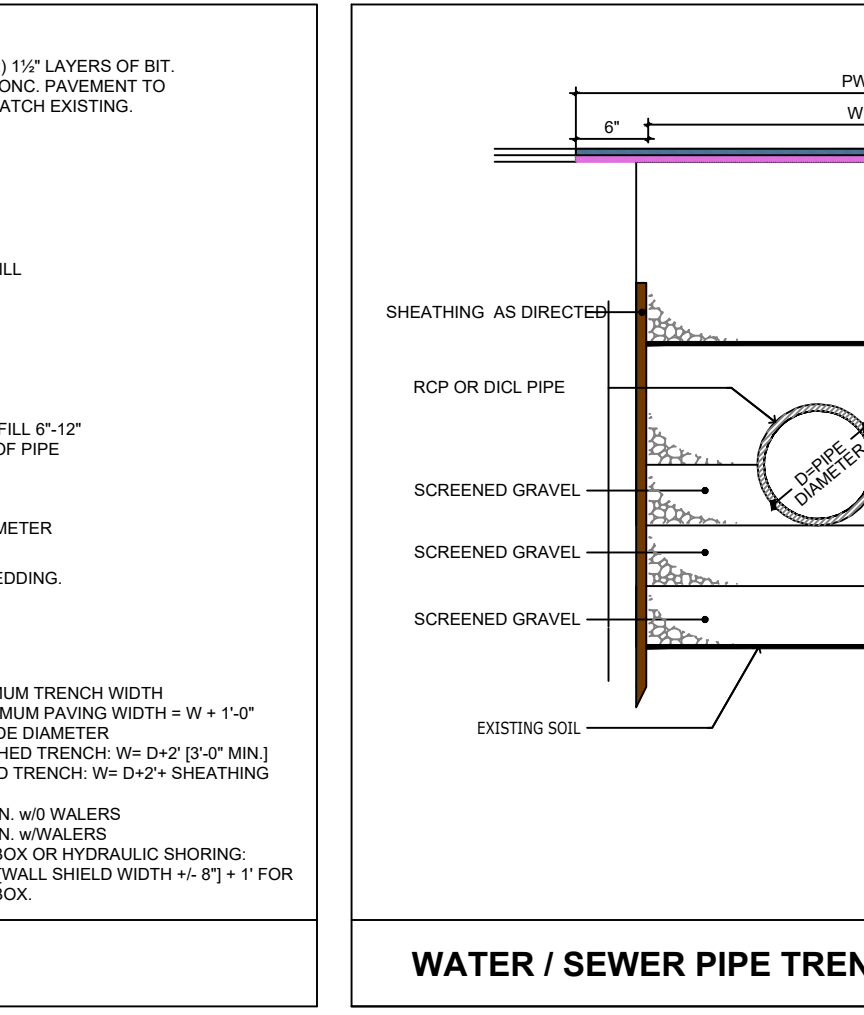
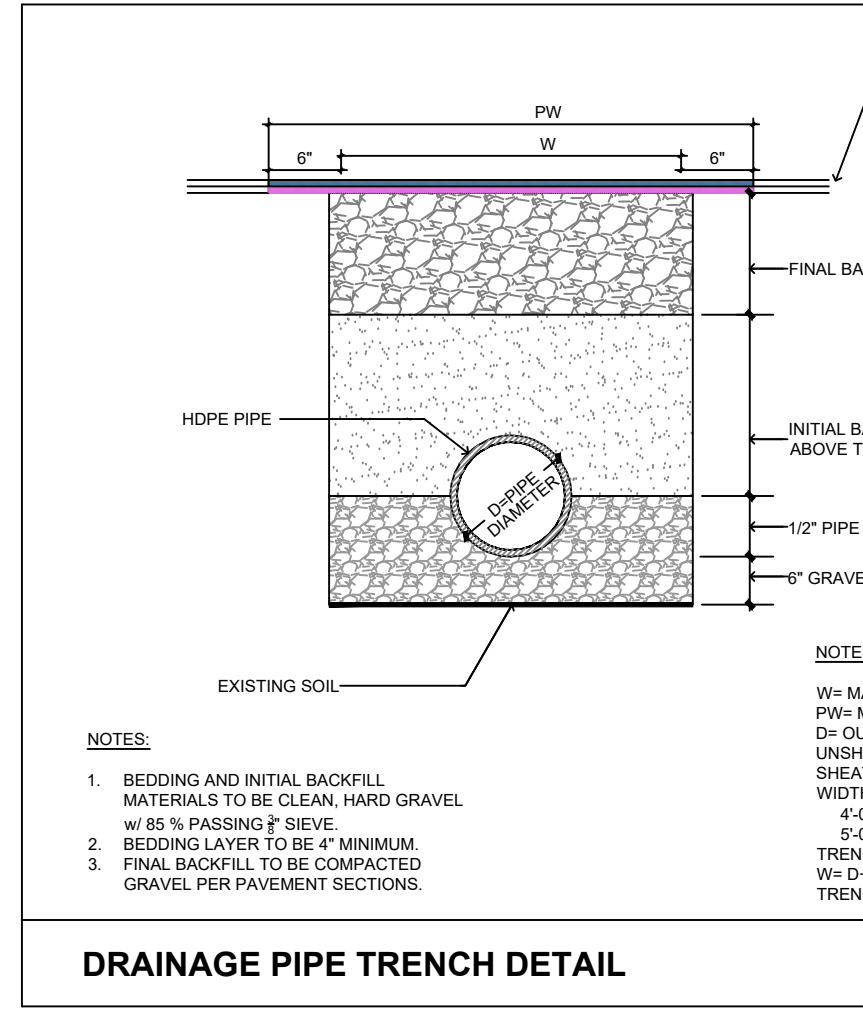
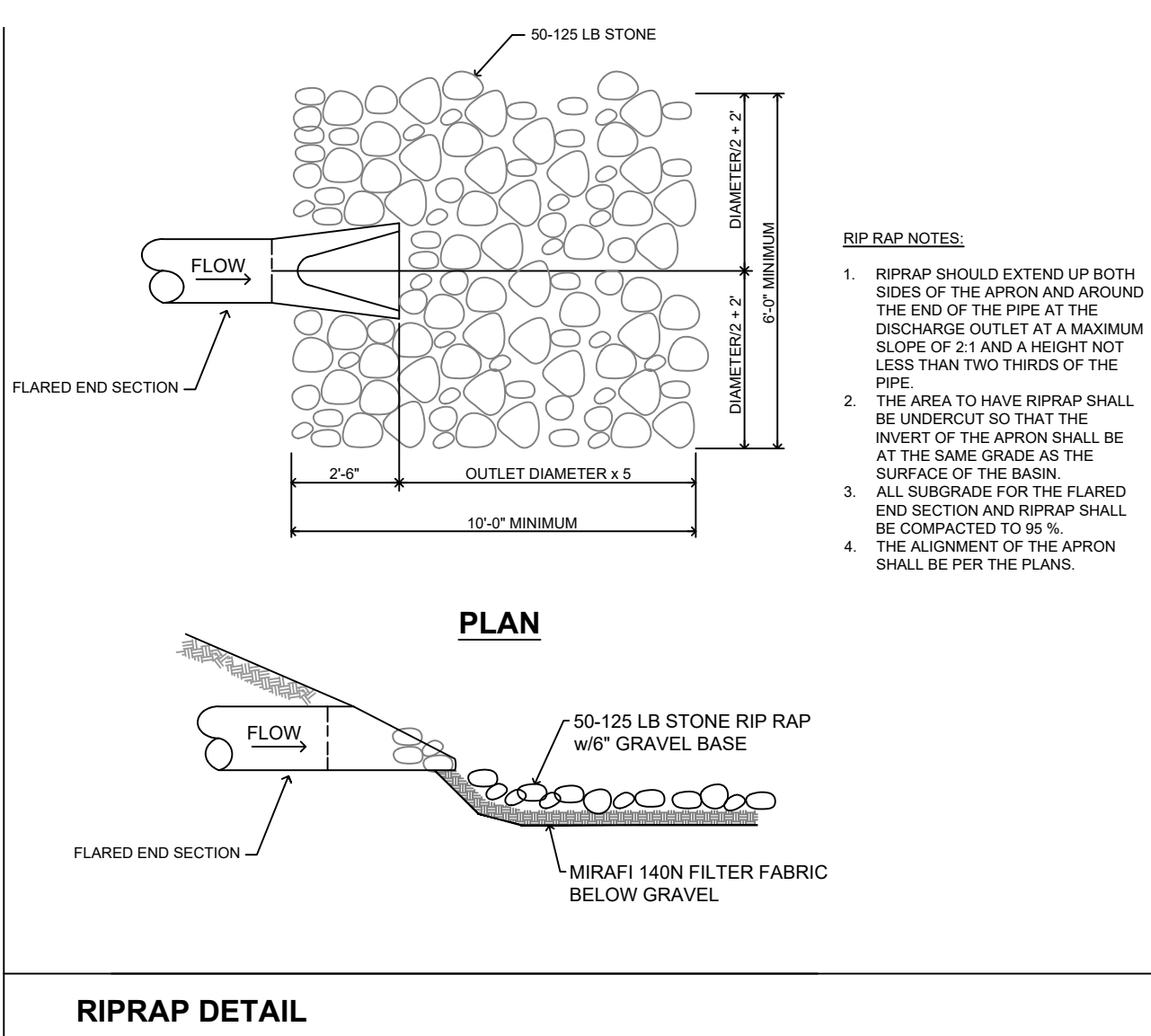
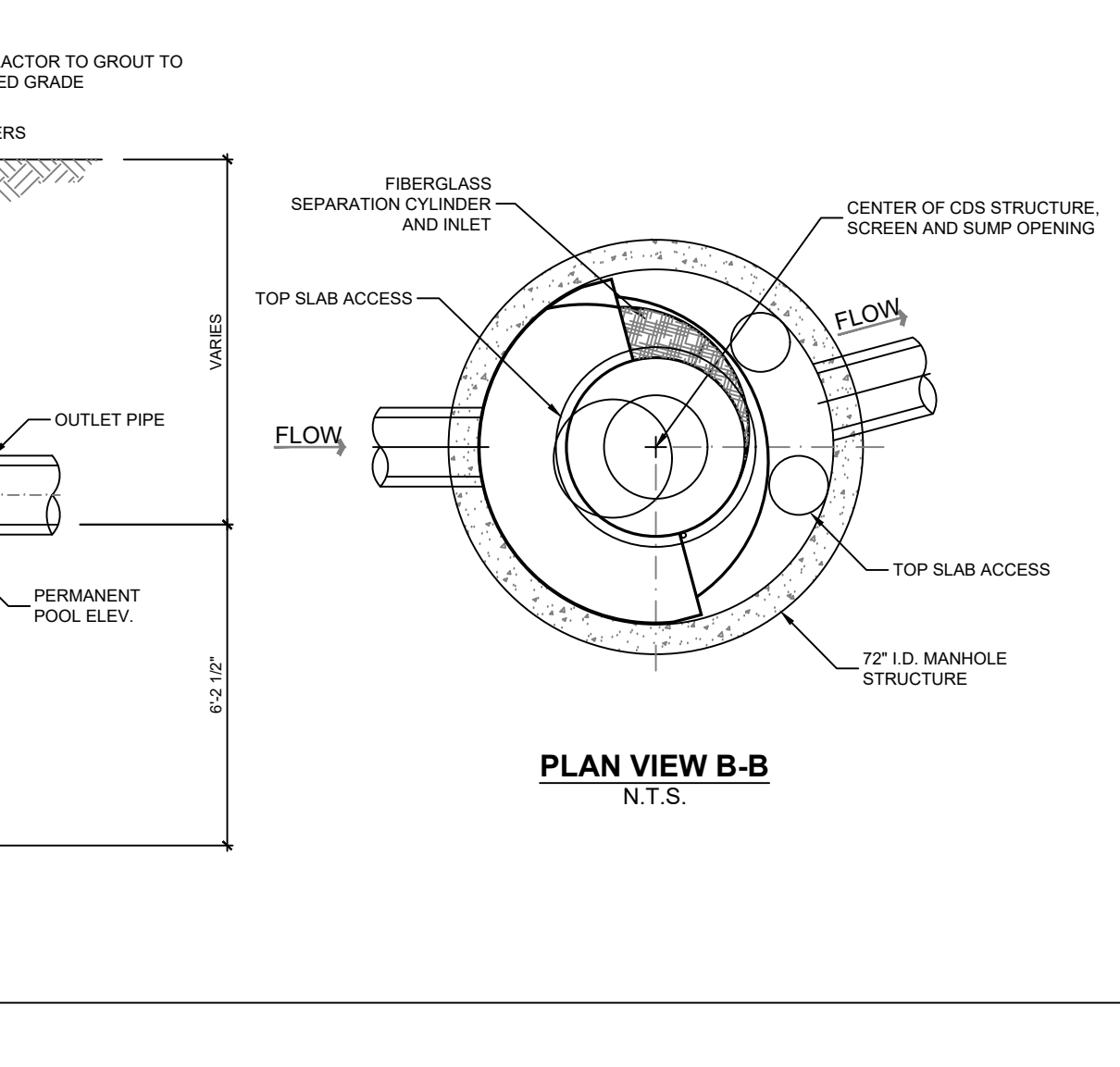
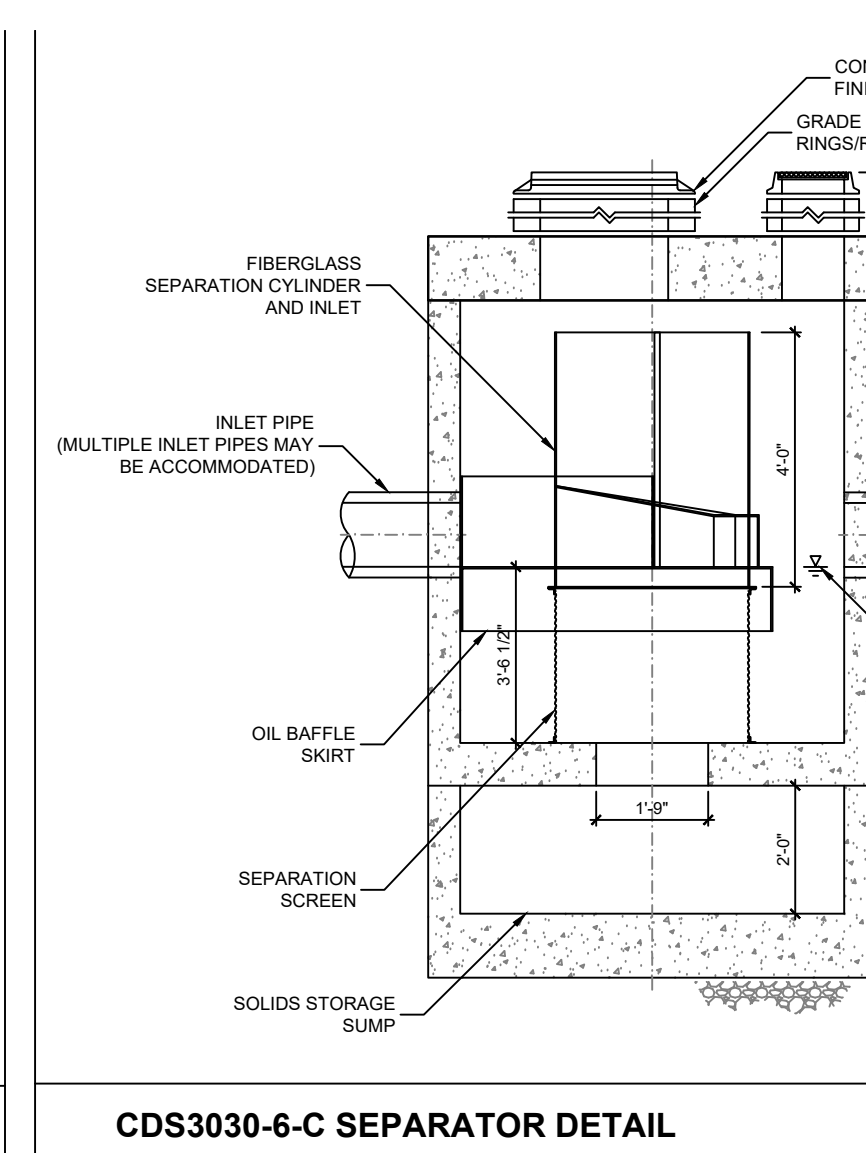
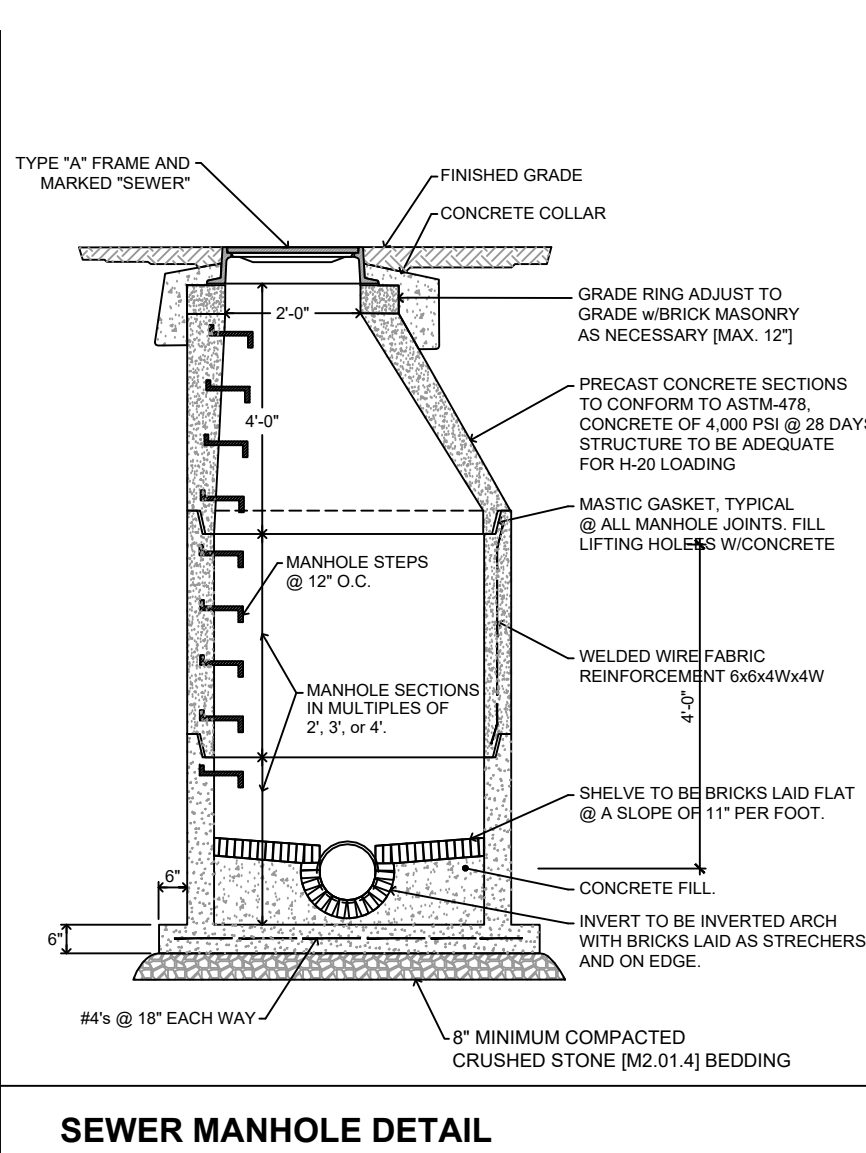
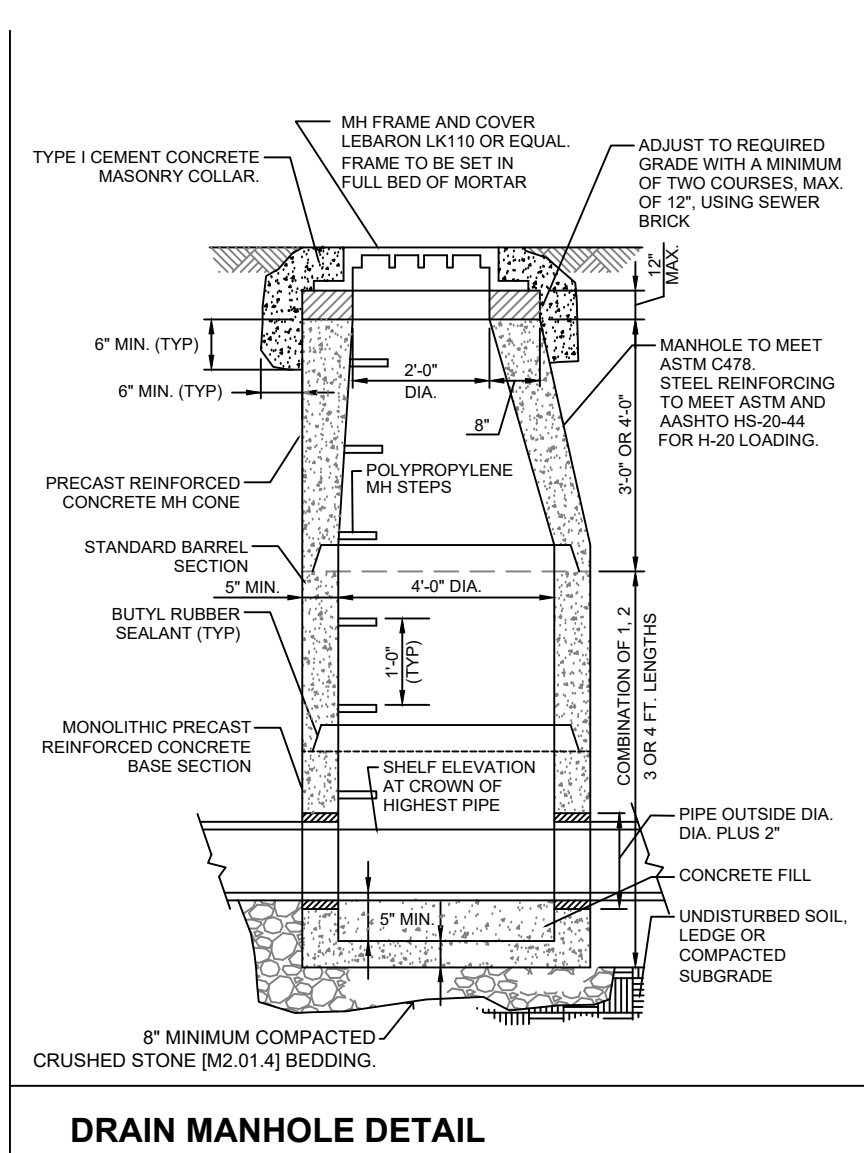
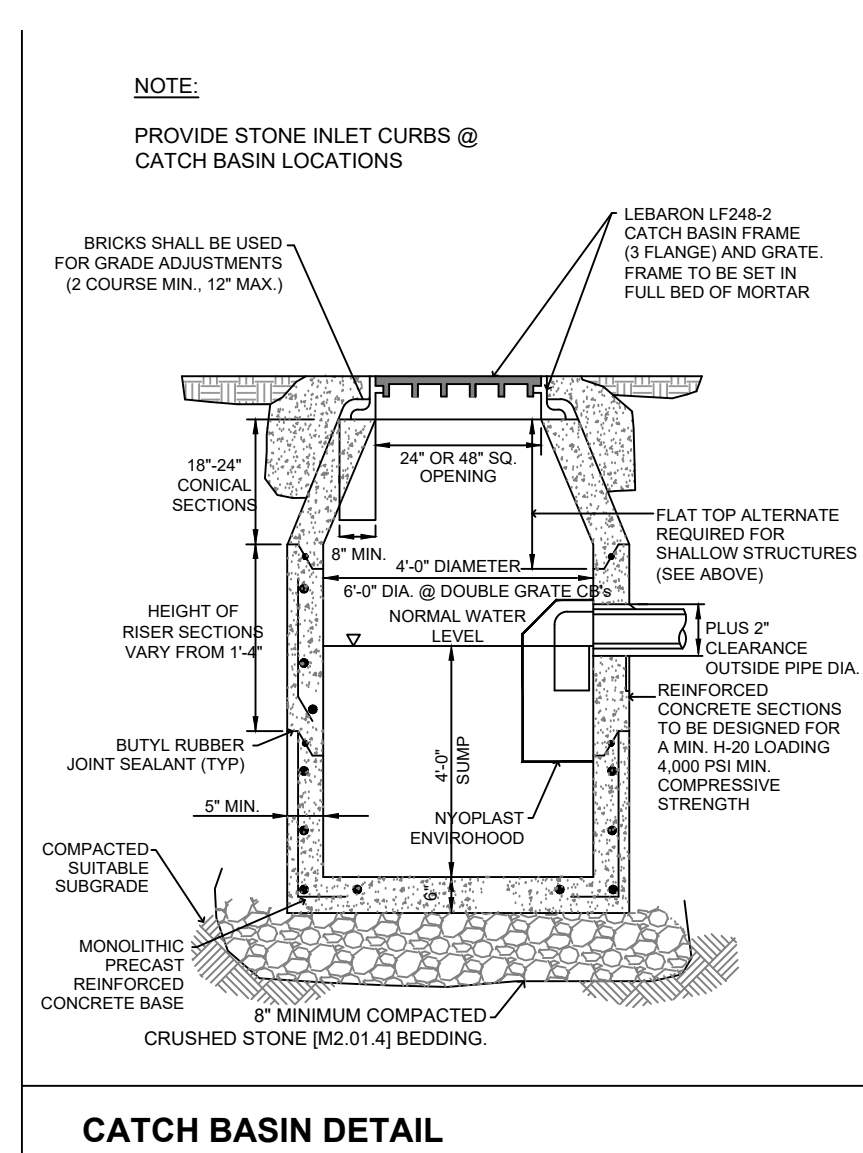
**DRAWING NUMBER:**



APPROVED BY THE DEVENS ENTERPRISE COMMISSION:

DATE: \_\_\_\_\_

**C.4.1**



**GENERAL CONSTRUCTION NOTES:**

MANHOLE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE COVER TO HAVE A CENTER HOLE.

A TIGHT COVER MUST BE USED IF MANHOLE IS LOCATED INSIDE OF BUILDING.

OPENING SHALL BE NOT LESS THAN 24" DIAMETER.

THE MANHOLE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.

INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.

WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.

THE MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.

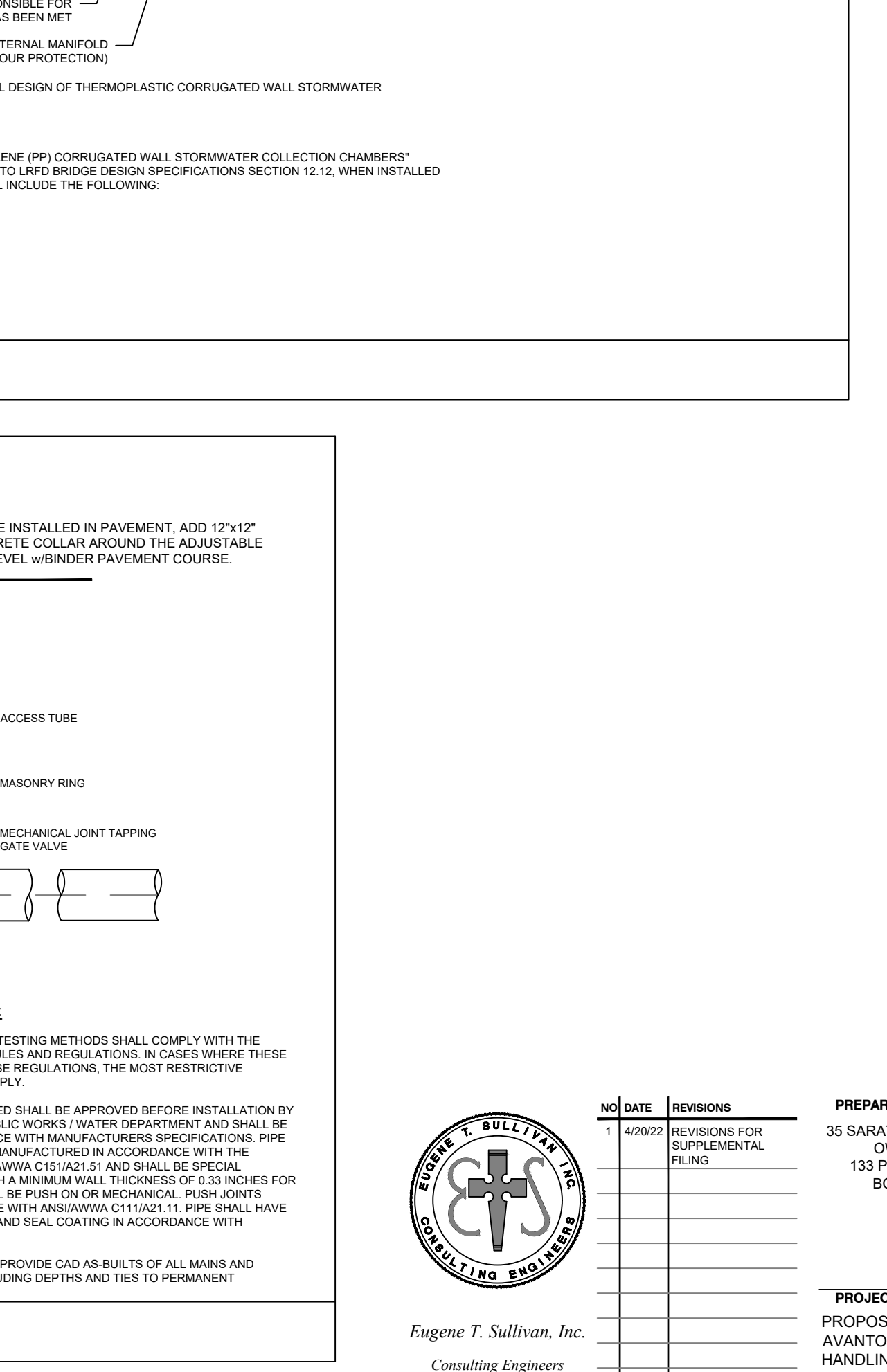
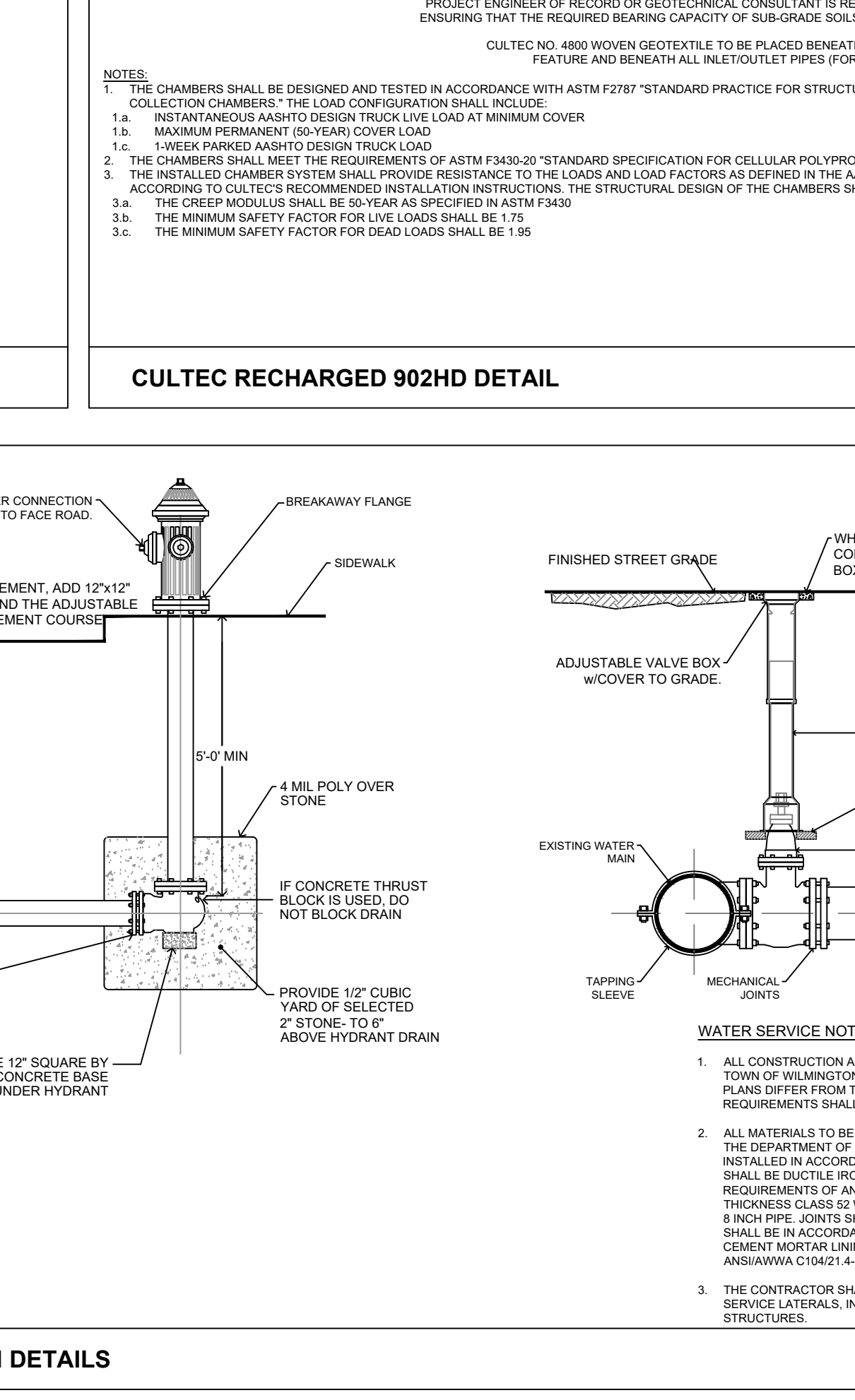
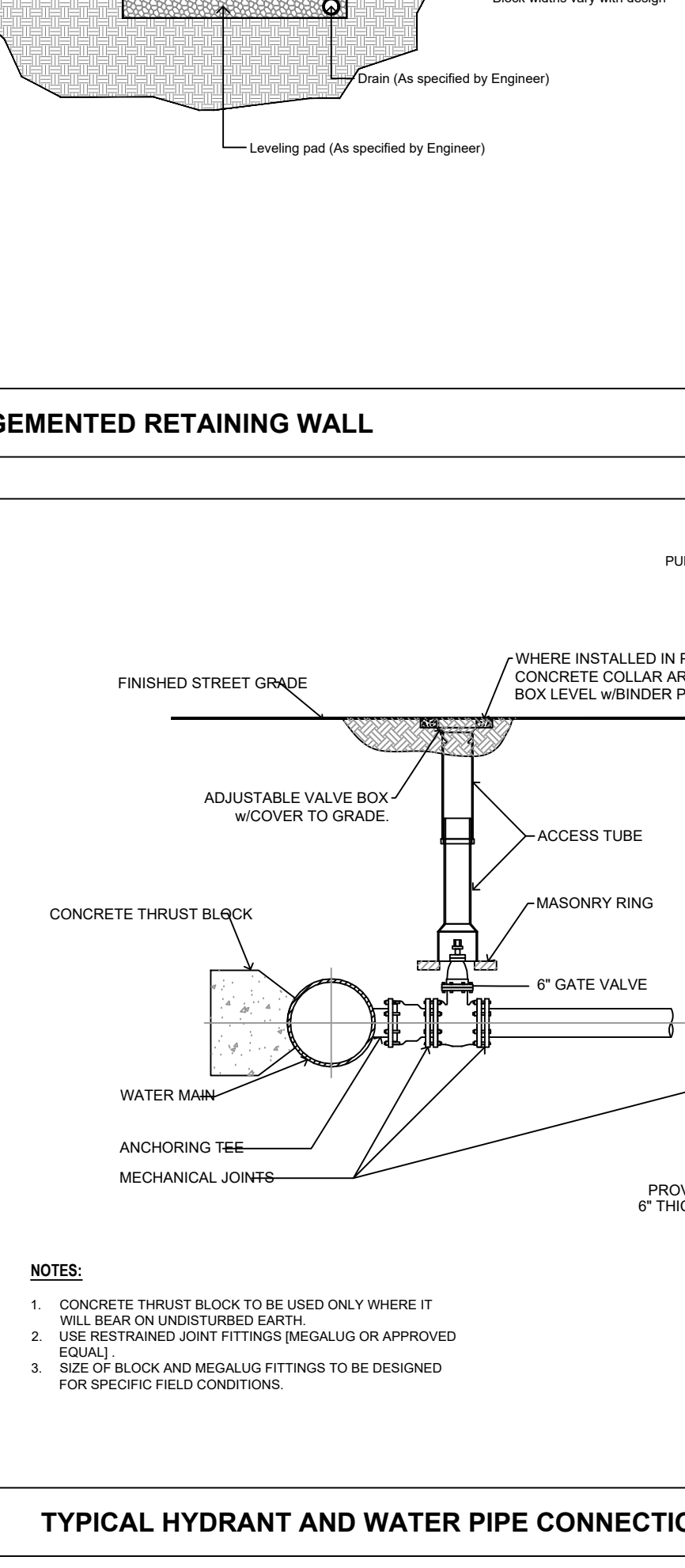
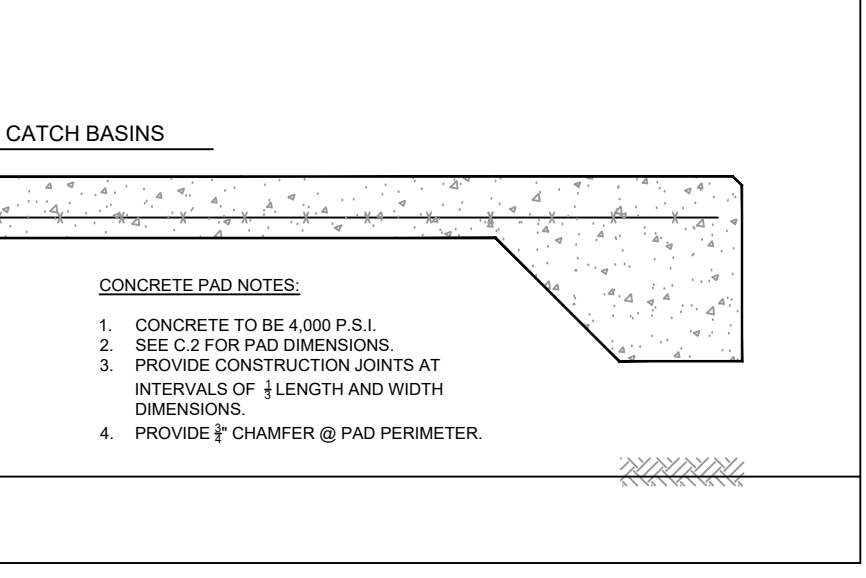
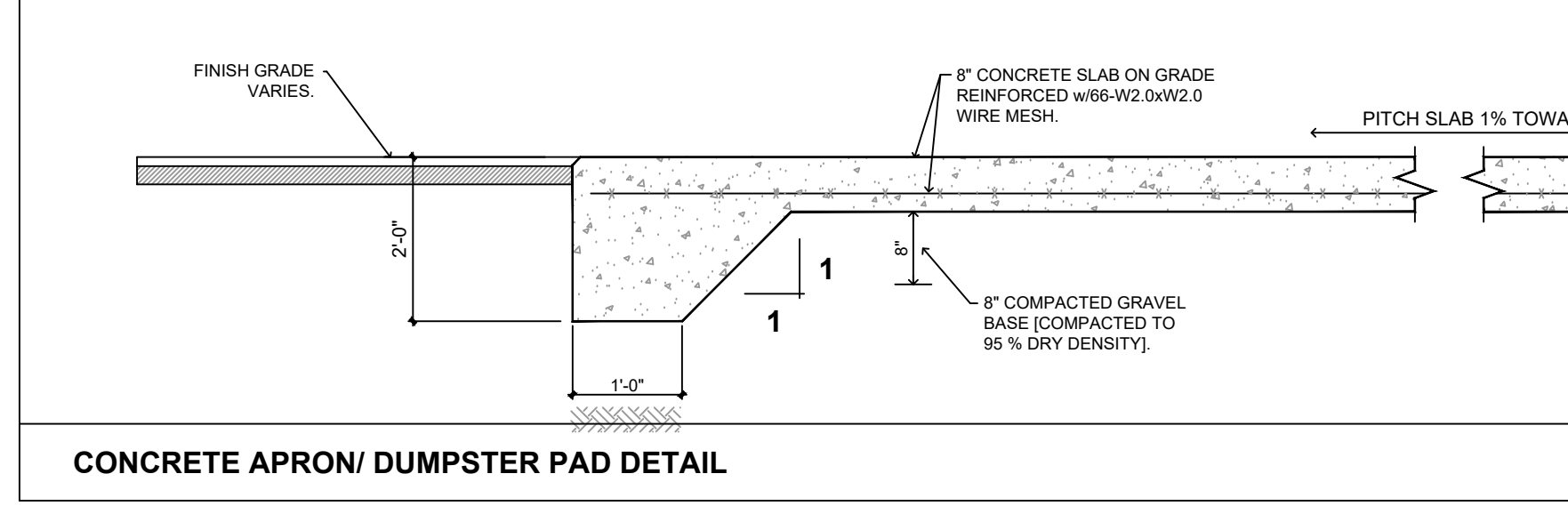
ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE MANHOLE, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER MEANS.

WROUGHT IRON STEPS SHALL BE SPACED AT 18" O.C.

BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY LOCAL AUTHORITIES.

**CONCRETE PAD NOTES:**

- CONCRETE TO BE 4,000 P.S.I.
- SEE C-2 FOR PAD DIMENSIONS.
- PROVIDE CONSTRUCTION JOINTS AT INTERVALS OF 3' LENGTH AND WIDTH DIMENSIONS.
- PROVIDE 2" CHAMFER @ PAD PERIMETER.



**CONCRETE PAD NOTES:**

- CONCRETE TO BE 4,000 P.S.I.
- SEE C-2 FOR PAD DIMENSIONS.
- PROVIDE CONSTRUCTION JOINTS AT INTERVALS OF 3' LENGTH AND WIDTH DIMENSIONS.
- PROVIDE 2" CHAMFER @ PAD PERIMETER.

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A TIGHT COVER MUST BE USED IF MANHOLE IS LOCATED INSIDE OF BUILDING.

OPENING SHALL BE NOT LESS THAN 24" DIAMETER.

THE MANHOLE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.

INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.

WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.

THE MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.

ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE MANHOLE, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER MEANS.

WROUGHT IRON STEPS SHALL BE SPACED AT 18" O.C.

BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY LOCAL AUTHORITIES.

**GENERAL CONSTRUCTION NOTES:**

MANHOLE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE COVER TO HAVE A CENTER HOLE.

A TIGHT COVER MUST BE USED IF MANHOLE IS LOCATED INSIDE OF BUILDING.

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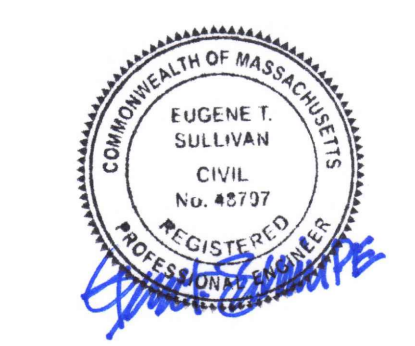
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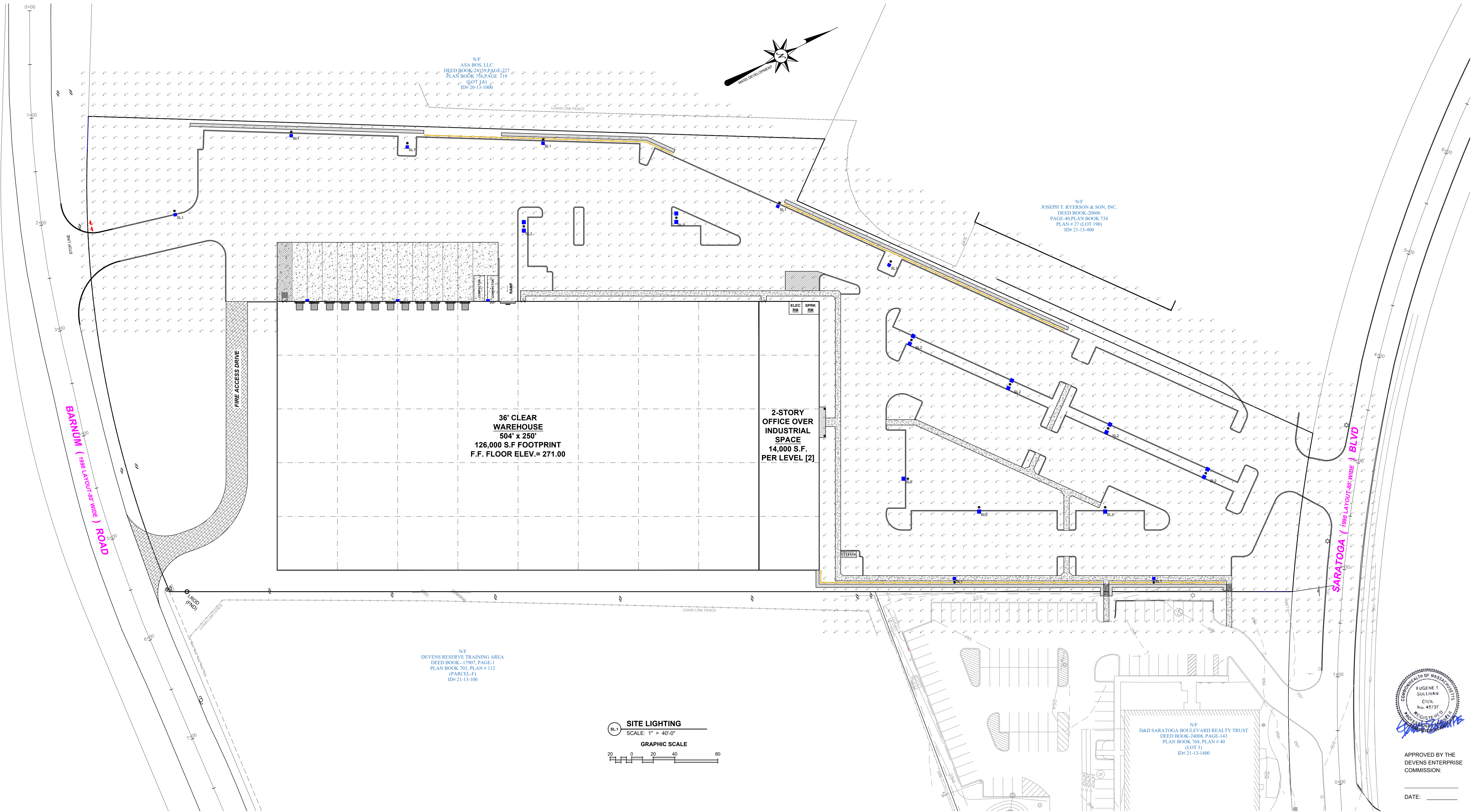
APPROVED BY THE DEVEN'S ENTERPRISE COMMISSION:

DATE: \_\_\_\_\_

NO.	DATE	REVISIONS	PREPARED FOR:	DRAWING:
1	4/20/22	REVISIONS FOR SUPPLEMENTAL PILING	35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	<b>SITE DETAILS PLAN</b>
<b>PROJECT:</b> PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA				<b>SCALE:</b> AS NOTED <b>DATE:</b> APRIL 6, 2022 <b>DRAWING NUMBER:</b>

Eugene T. Sullivan, Inc.  
Consulting Engineers  
230 Lowell Street - Suite 2A  
Wilmington, MA 01887  
Phone: 978.657.6469  
Fax: 978.657.8563  
Email: etspe@outlook.com

**C.4.2**

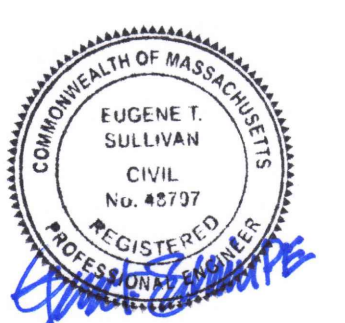
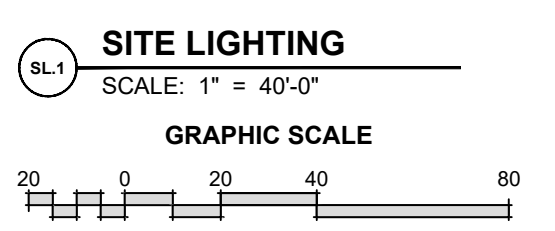


N/F  
ASA BOS, LLC  
DEED BOOK-24159, PAGE-227  
PLAN BOOK 756, PAGE 119  
(LOT 1A)  
ID# 20-13-1000

N/F  
JOSEPH T. RYERSON & SON, INC.  
DEED BOOK-20806  
PAGE-40, PLAN BOOK 734  
PLAN # 27 (LOT 190)  
ID# 21-13-400

N/F  
DEVENS RESERVE TRAINING AREA  
DEED BOOK-17907, PAGE-1  
PLAN BOOK 703, PLAN # 112  
(PARCEL-F)  
ID# 21-13-100

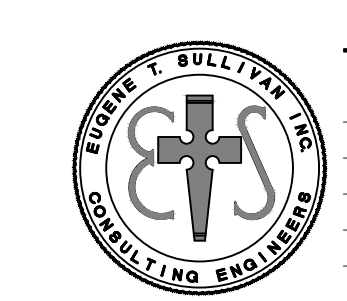
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D&D SARATOGA BOULEVARD REALTY TRUST  
DEED BOOK-24068, PAGE-143  
PLAN BOOK 768, PLAN # 40  
(LOT 3)  
ID# 21-13-1400



APPROVED BY THE  
DEVENS ENTERPRISE  
COMMISSION:  
  
DATE: \_\_\_\_\_

Qty	Label	Manufacturer	Catalog Number	Description	LLF	Input Watts
8	SL1	Lithonia Lighting	DSX1 LED P6 30k BLC MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- BLC OPTIC 25' MOUNTING	0.9	163
6	SL2	Lithonia Lighting	DSX1 LED P6 30k T3M MVOLT MOUNTING CONTROL XX FINISH Twin Head Pole @ 180 Degrees Mounted @ 25' AFG	TWIN HEAD POLE USING DSX- T3M OPTIC 25' MOUNTING	0.9	326
3	SL3	Lithonia Lighting	DSX1 LED P6 30k T3M MVOLT MOUNTING CONTROL XX FINISH Single Head Pole Mounted @ 25' AFG	SINGLE HEAD POLE USING DSX- T3M OPTIC 25' MOUNTING	0.9	163
3	WP	Lithonia Lighting	WDGE3 LED P3 70CRI R4 30k	WDGE3 LED WITH P3- PERFORMANCE PACKAGE, 3000k, 70 CRI, TYPE 4 OPTIC	0.9	72

NOTE: ALL FIXTURES TO BE DARK, EARTH TONE COLOR

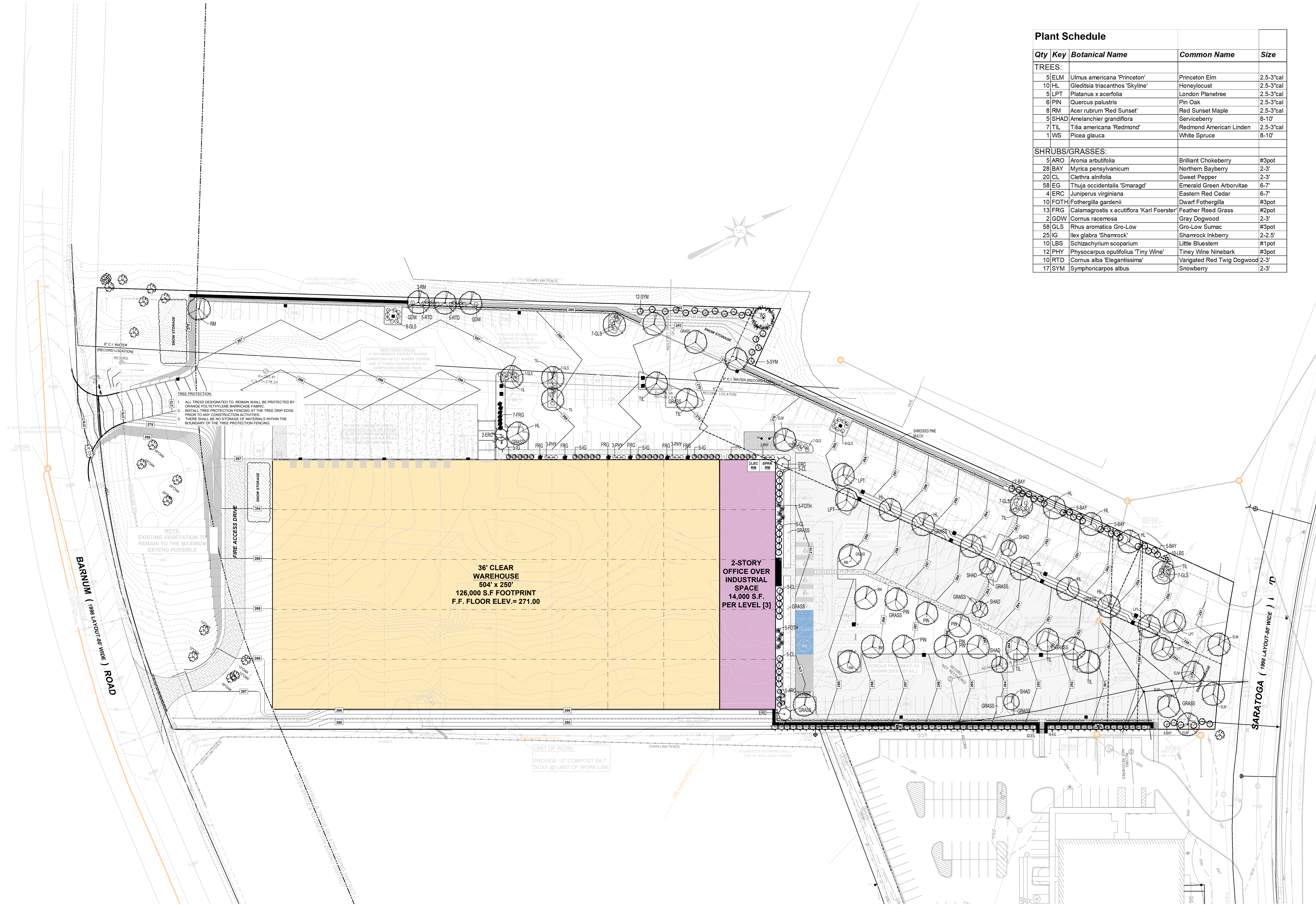
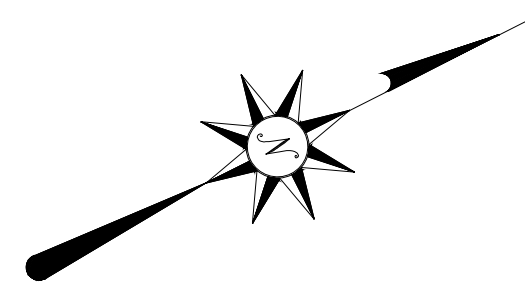


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Email: etspe@outlook.com

NO	DATE	REVISIONS	PREPARED FOR:	DRAWING:
1	4/20/22	REVISIONS FOR SUPPLEMENTAL PLING	35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA	SITE LIGHTING PLAN
PROJECT:			SCALE: 1" = 40'-0"	DATE: APRIL 6, 2022
PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA			DRAWING NUMBER	SL.1



Plant Schedule				
Qty	Key	Botanical Name	Common Name	Size
<b>TREES:</b>				
5	ELM	Ulmus americana 'Princeton'	Princeton Elm	2.5-3'cal
10	HL	Gleditsia triacanthos 'Skyline'	Honeylocust	2.5-3'cal
5	LPT	Platanus x acerifolia	London Planetree	2.5-3'cal
6	PIN	Quercus palustris	Pin Oak	2.5-3'cal
8	RM	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5-3'cal
5	SHAD	Amelanchier grandiflora	Serviceberry	8-10'
7	TIL	Tilia americana 'Redmond'	Redmond American Linden	2.5-3'cal
1	WS	Picea glauca	White Spruce	8-10'
<b>SHRUBS/GRASSES:</b>				
5	ARO	Aronia arbutifolia	Brilliant Chokeberry	#3pot
28	BAY	Myrica pensylvanicum	Northern Bayberry	2-3'
20	CL	Clethra alnifolia	Sweet Pepper	2-3'
58	EG	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	6-7'
4	ERC	Juniperus virginiana	Eastern Red Cedar	6-7'
10	FOTH	Fothergilla gardenii	Dwarf Fothergilla	#3pot
13	FRG	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2pot
2	GDW	Cornus racemosa	Gray Dogwood	2-3'
58	GLS	Rhus aromatica Gro-Low	Gro-Low Sumac	#3pot
25	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	2-2.5'
10	LBS	Schizachyrium scoparium	Little Bluestem	#1pot
12	PHY	Physocarpus opulifolius 'Tiny Wine'	Tiny Wine Ninebark	#3pot
10	RTD	Cornus alba 'Elegantissima'	Vargated Red Twig Dogwood	2-3'
17	SYM	Symphoricarpos albus	Snowberry	2-3'

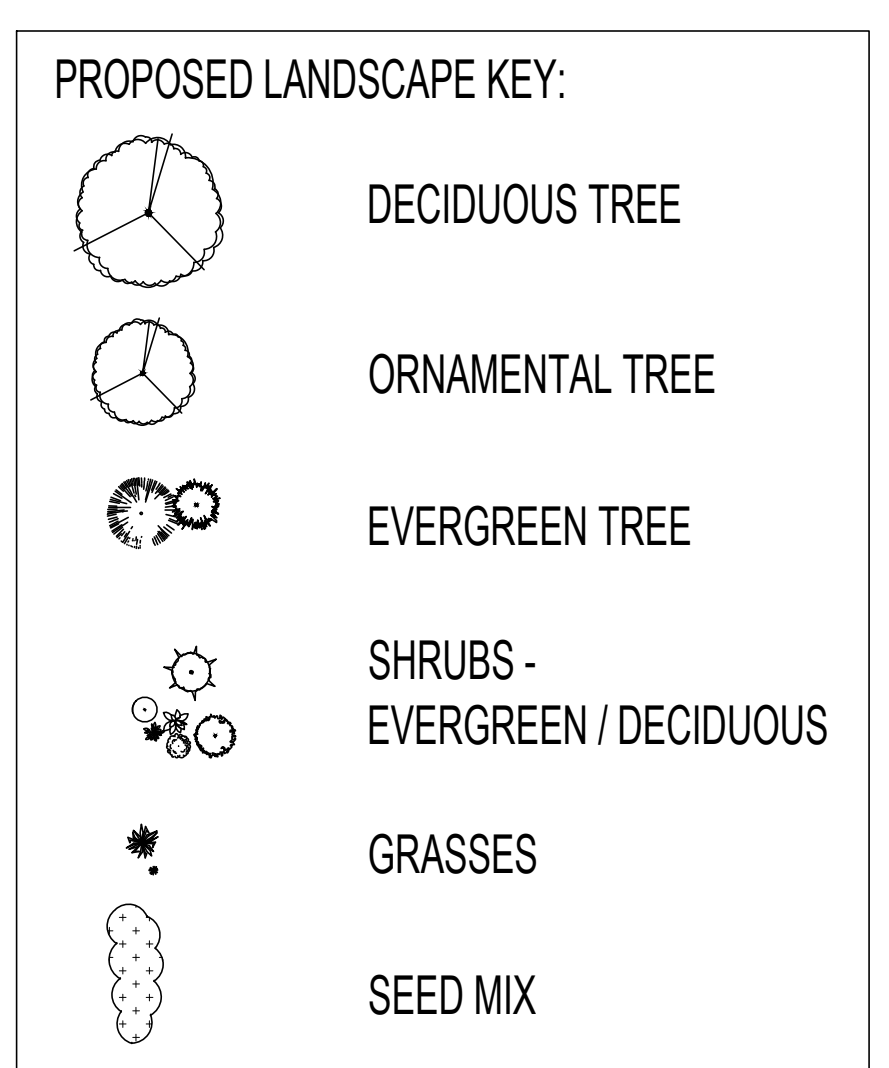


**Proposed Building**  
35 Saratoga Boulevard  
Devens, MA

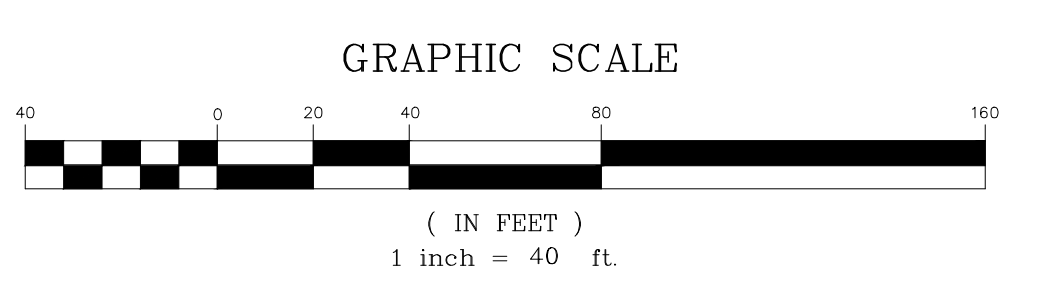
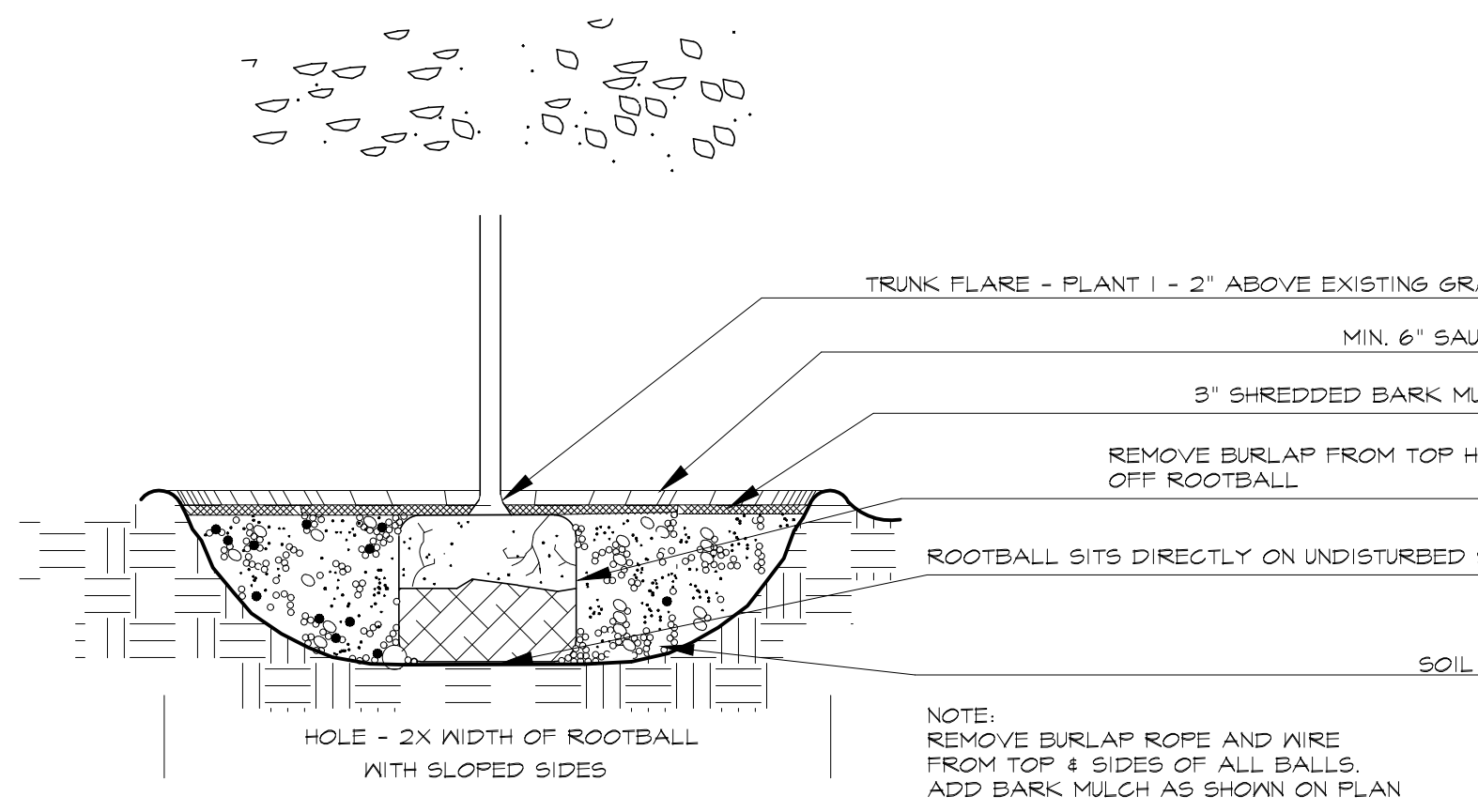
**Landscape Plan**

**LANDSCAPE PLAN**  
SCALE: 1" = 30'

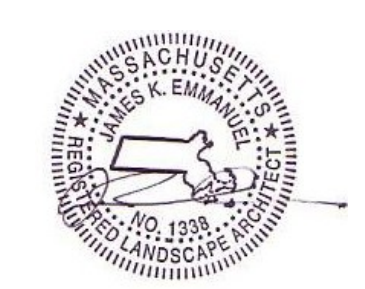
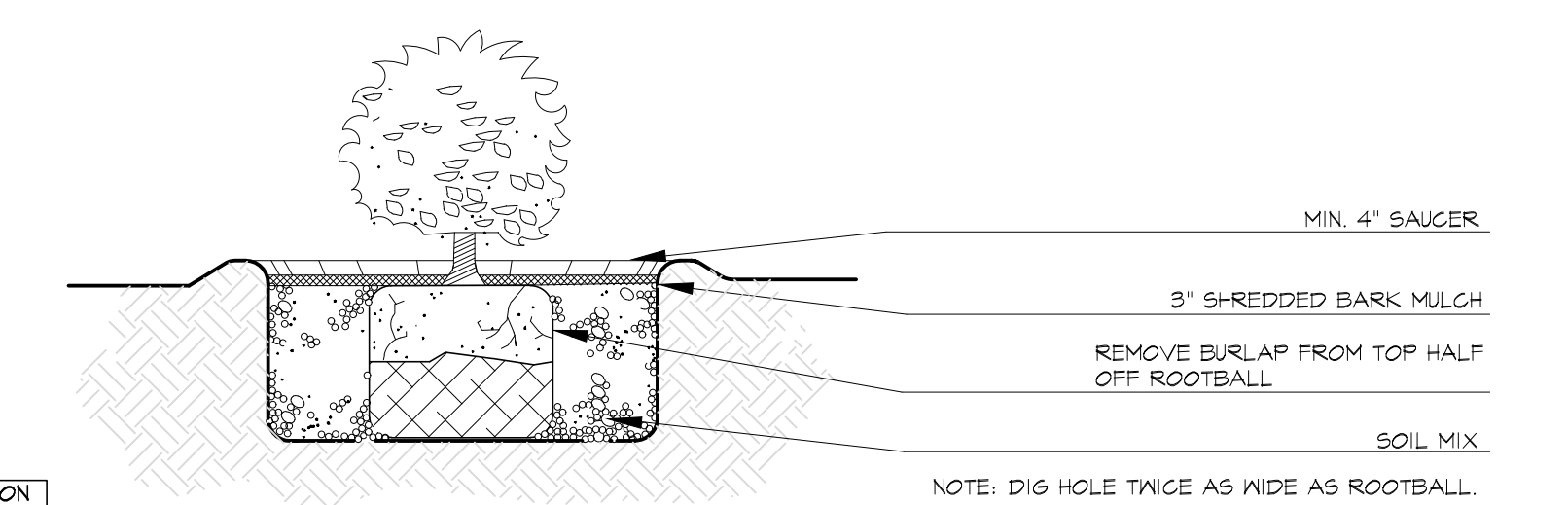
- GRASS:**
- 20% IMPROVED PERENNIAL RYE
  - 20% IMPROVED ANNUAL RYE
  - 20% CREEPING RED FESCUE
  - 15.0% TURF TYPE TALL FESCUE
  - 5% KENTUCKY BLUE GRASS
  - 1% RED TOP
  - 3% COLONIAL BENTGRASS
- SEED MIX "B":**
- SEED MIX "B" - NEW ENGLAND NATIVE WARM SEASON GRASS MIX - 23 LBS PER ACRE NURSE GRASS - AND ANNUAL RYE 5 LBS PER ACRE
- Elymus virginicus
  - Sporobolus vaginatus
  - Andropogon gerardii
  - Sorghastrum nutans
  - Panicum virgatum
  - Festuca rubra



**2 TREE PLANTING**  
SCALE: 1/2" = 1'-0"



**2 SHRUB PLANTING**  
SCALE: 1/2" = 1'-0"

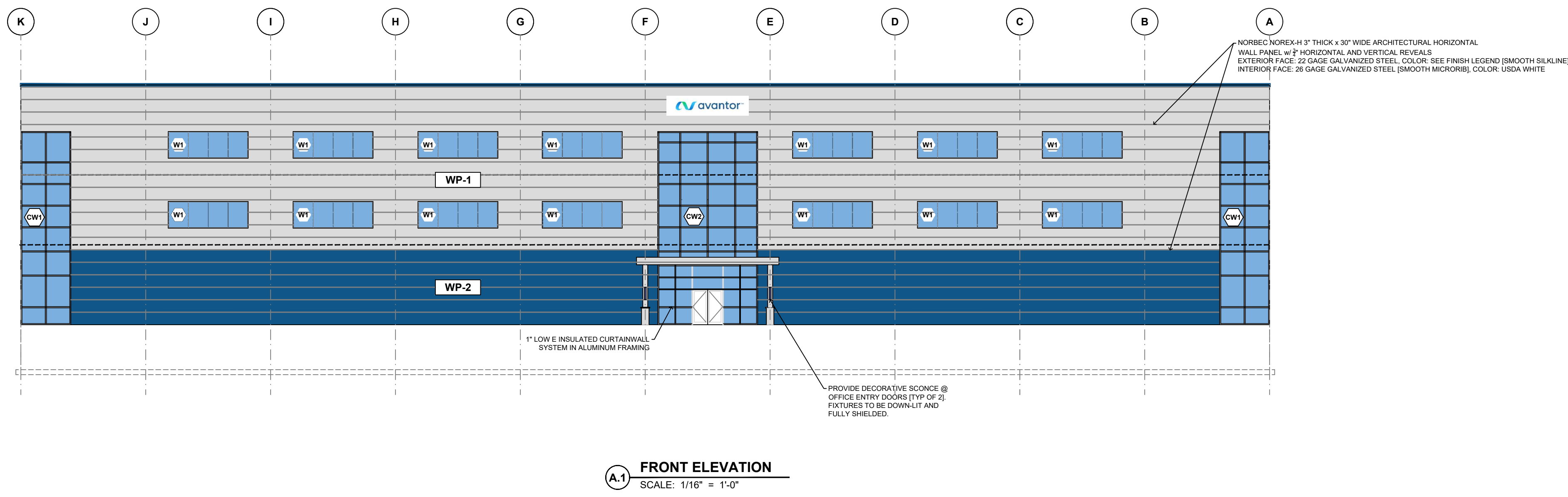


James K. Emmanuel  
LANDSCAPE ARCHITECTS  
22 Carlton Rd.  
Malden, MA 02148  
Tel: (781) 622-7487  
james@jamesmanuel.com  
www.jamesmanuel.com

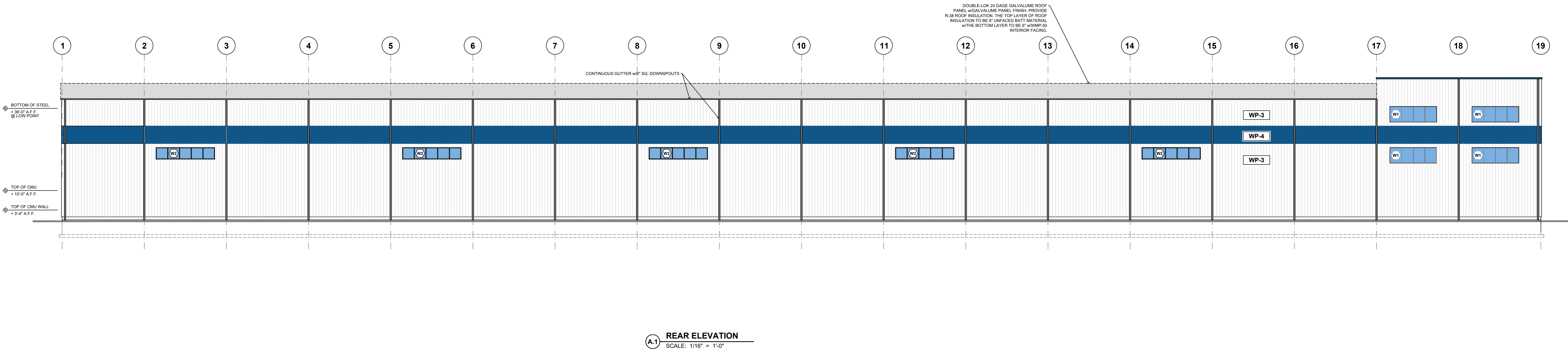
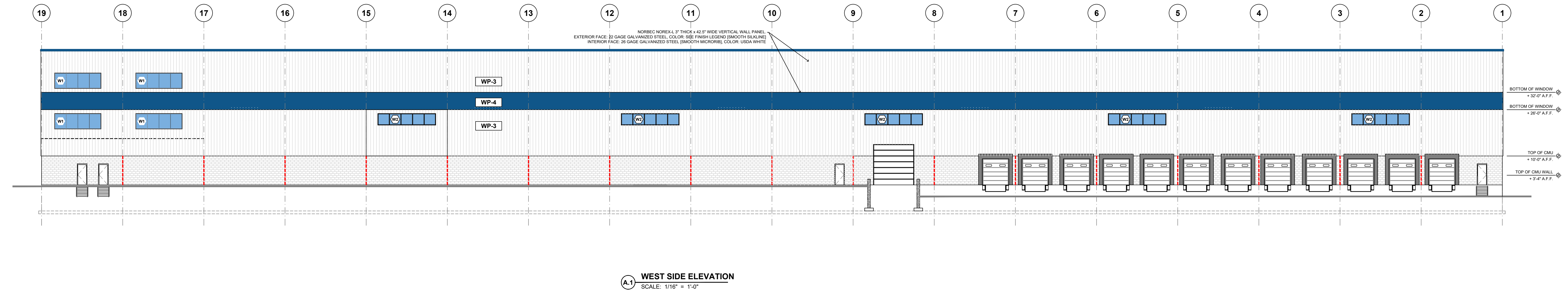
SCALE: 1" = 30'  
DRAWN BY: JE  
CHECKED:  
DATE: April 7, 2022

DRAWING NUMBER

**L.1**



- FINISHES LEGEND:**
- WP-1** 3" THICK x 30" WIDE HORIZONTAL INSULATED METAL NOREX-H WALL PANEL AS MANUFACTURED BY NORBEC. 22 GAGE EXTERIOR (SMOOTH SILKLINE) GALVANIZED STEEL COLOR: BRIGHT SILVER AND 26 GAGE INTERIOR (SMOOTH MICRORIB) GALVANIZED STEEL COLOR: USDA WHITE.
  - WP-2** 3" THICK x 30" WIDE HORIZONTAL INSULATED METAL NOREX-H WALL PANEL AS MANUFACTURED BY NORBEC. 22 GAGE EXTERIOR (SMOOTH SILKLINE) GALVANIZED STEEL COLOR: HERON BLUE AND 26 GAGE INTERIOR (SMOOTH MICRORIB) GALVANIZED STEEL COLOR: USDA WHITE.
  - WP-3** 3" THICK x 42.5" WIDE VERTICAL INSULATED METAL NOREX-L WALL PANEL AS MANUFACTURED BY NORBEC. 22 GAGE EXTERIOR (SMOOTH SILKLINE) GALVANIZED STEEL COLOR: BRIGHT SILVER AND 26 GAGE INTERIOR (SMOOTH MICRORIB) GALVANIZED STEEL COLOR: USDA WHITE.
  - WP-4** 3" THICK x 42.5" WIDE VERTICAL INSULATED METAL NOREX-L ACCENT WALL PANEL AS MANUFACTURED BY NORBEC. 22 GAGE EXTERIOR (SMOOTH SILKLINE) GALVANIZED STEEL COLOR: HERON BLUE AND 26 GAGE INTERIOR (SMOOTH MICRORIB) GALVANIZED STEEL COLOR: USDA WHITE.
  - CMU-1** 12" REGULAR FACED CONCRETE MASONRY UNITS AS MANUFACTURED BY GENEST
  - CW-X** GLASS CURTAINWALL AS MANUFACTURED BY KAWNEER. FRAMING COLOR: CLEAR ANODIZED ALUMINUM
  - W-X** GLASS STOREFRONT WINDOWS AS MANUFACTURED BY KAWNEER. FRAMING COLOR: CLEAR ANODIZED ALUMINUM



APPROVED BY THE DEVENS ENTERPRISE COMMISSION:  
DATE: \_\_\_\_\_

<p>Eugene T. Sullivan, Inc. Consulting Engineers 230 Lowell Street, Suite 2A Wilmington, MA 01887 Phone: 978.657.6449 Fax: 978.657.6563 Email: etse@outlook.com</p>	<p>NO. DATE REVISIONS</p>	<p>PREPARED FOR: 35 SARATOGA PROPERTY OWNER, LLC 133 PEARL STREET BOSTON, MA</p>	<p>DRAWING: <b>BUILDING ELEVATIONS</b></p>
	<p>PROJECT: PROPOSED BUILDING AVANTOR FLUID HANDLING 35 SARATOGA BOULEVARD DEVENS, MA</p>	<p>SCALE: 1/16" = 1'-0" DATE: APRIL 20, 2022 DRAWING NUMBER</p>	<p><b>A.1</b></p>